

## INVITATION TO BID

The City of Ferris, Texas hereby requests sealed bids for the following:

### **FERRIS SENIOR CENTER RENOVATION**

Sealed bids addressed to William Jordan, Chief Building Official, will be accepted at Ferris City Hall, 100 Town Plaza, Ferris, TX 75125 until **2:30pm on Tuesday, July 26th, 2016**, at which time they will be opened and read aloud. Please mark envelope **"SEALED BID FERRIS - SENIOR CENTER RENOVATION."**

Potential bidders/respondents are advised that a bidder's packet that includes project specifications can be downloaded from the City of Ferris web page address: [www.ferristexas.gov](http://www.ferristexas.gov), and may also be secured from City Hall at 100 Town Plaza, Ferris, TX 75125. **No electronic bids will be accepted.**

**A non-mandatory information Pre-Submittal Conference will be held at Ferris City Hall 100 Town Plaza, Ferris, TX 75125 on Monday, July 11th, 2016 at 1:00pm.**

The City of Ferris reserves the right to accept or reject any or all bids, to waive any informalities, and to accept the bid to be the best and most advantageous to the City, and to hold bids for a period of forty-five (45) days without taking action, for the purpose of reviewing the bids and investigating bidders' qualifications prior to bid award. Bids submitted past the aforementioned date and time will not be accepted.

## NOTICE TO BIDDERS

**Owner:** City of Ferris, Texas  
100 Town Plaza, Ferris, Texas 75125  
Phone: (972) 544-2965  
Fax: (972) 544-8259

### INVITATION

- A. Bidders are invited to submit an offer for performance of a Contract to the City of Ferris located at the above address, for the following construction Project:

Project: Ferris Senior Center Renovation  
Located: 201 E. 8<sup>th</sup> St. Ferris, Ellis County, Texas

- B. Work of the Project consists of renovation of building (interior & exterior) and related drainage and flatwork.
- C. The Contract Documents are identified Ferris Senior Center Renovation as listed in the Project Manual, issued by the City of Ferris.
- D. The bidder shall bear all costs associated with the preparation and submission of its bid, and the Owner will in no case be responsible or liable for those costs, regardless of the conduct or outcome of the bidding process.
- E. When requested, the successful Bidder shall present satisfactory evidence that Bidder has regularly engaged in furnishing products and performing construction work as proposed, and has the capital, labor, equipment, and material to execute the Work required by Contract Documents.

### BID SUBMISSION

- A. Bids signed by an officer of the company and dated will be received at the City of Ferris City Hall, at 100 Town Plaza, Ferris, Texas 75125 until **2:30pm on Tuesday, July 26th, 2016**.
- B. Bids submitted after the above time will be returned to the Bidder unopened.
- C. Bids shall be submitted in United States Currency and the English language on the Bid Forms and Supplements to Bid Forms provided with this Project Manual.
- D. Oral, telephonic, facsimile, or telegraphic bids are invalid and will not receive consideration.

- E. Bids will be opened and publicly read at Ferris City Hall at 100 Town Plaza, Ferris, Texas, 75125 on the same date bids are received.
- F. Bids will be irrevocable for 90 days from the bid date. Bidder may withdraw after 90 days without penalty if no mutual agreement can be reached.

### **MODIFICATION OR WITHDRAWAL**

- A. Bids submitted early may be modified or withdrawn by notice to the City of Ferris at the place and prior to the time designated for receipt of Bids. Such notice shall be in writing over the signature of the Bidder and shall be so worded as not to reveal the amount of the original Bid.
- B. Oral, telephonic, facsimile, or telegraphic modification of Bids will not receive consideration.
- C. Withdrawn Bids may be resubmitted up to the time designated for receipt of Bids.

### **CONTRACT TIME**

- A. The Work shall be performed within 120 calendar days from the date established in the Notice to Proceed.
- B. Contract is for 120 calendar days. The work is to be performed only during weekdays 8:00 AM to 5:00 PM (Monday to Friday). City recognized holidays are recommended to be avoided.

### **EXAMINATION**

- A. Bid Documents are on display on the City of Ferris website and may be examined at Ferris City Hall.

### **AVAILABILITY**

- A. Bid Documents may be obtained from Ferris City Hall or are available for printing at [www.ferristexas.gov](http://www.ferristexas.gov).
- B. Bid Documents are made available only for the purpose of obtaining offers for this Project, and do not grant a license for other purposes.
- C. On receipt of Bid Documents, verify that documents are legible and complete. Compare contents of Project Manual with Table of Contents; see that all drawings listed in the List of Drawings are included. Notify City of Ferris should the documents be incomplete as issued.

## QUESTIONS AND INTERPRETATIONS

- A. Bidder is required to study Bid Documents, the site, and conditions affecting the Work, and submit written questions on interpretation of those documents and conditions, or other factors affecting the Work, to the City of Ferris.
- B. Written questions may be submitted by facsimile or email, addressed to the Chief Building Official. No questions will be accepted after **12:00pm on Monday, July 25th, 2016**. All facsimile communications shall be confirmed by mailing the original correspondence to the City of Ferris Chief Building Official, if applicable.
- C. Immediately notify the Chief Building Official upon finding any discrepancies or omissions in the Bid Documents.

## ACCEPTANCE/REJECTION OF BIDS

- A. The Owner reserves the right to reject or accept any bids as stated in the Instructions to Bidders.

## PRE-BID CONFERENCE

- A. One (1) pre-bid conference will be conducted by the Owner on **Monday, July 11th, 2016 at 1:00pm**. The pre-bid conference shall be conducted at the City of Ferris City Hall: located at 100 Town Plaza, Ferris, TX 75125. Attendance by prospective Bidders is highly recommended. Sub-contractors, suppliers, and equipment suppliers may attend.
- B. Recognizing that free and open communication will benefit all participants, the Owner does not intend to limit or curtail the exchange of information between the City and the prospective Bidders. However, the pre-bid conference is conducted primarily for the benefit of prospective Bidders. As such, a specific procedure will be followed during the conference:
  - 1. All attendees will sign in, indicating their role with the project: contractor, supplier, manufacturer, etc.
  - 2. Seating priority will be given to prospective Bidders. Sub-contractors, suppliers, and manufacturers' representatives shall remain behind the contractor area.
  - 3. The Owner will make introductions of his staff and consultants.
  - 4. The Owner and consultants will give a brief description of the Project.

5. Only contracting firms (Prospective Bidders) are permitted to ask questions. Sub-contractors, suppliers, and manufacturers shall deliver their questions to the Contractor they are working with for presentation.
  6. Questions and answers will be recorded and developed into Meeting Minutes. Meeting Minutes will be distributed to meeting attendees. The Owner reserves the right to use electronic recording, or some other method to record the meeting.
- C. The meeting will be conducted in English. Translators will not be provided.
- D. If necessary, written clarifications or instructions will be issued in the form of an Addendum. Refer to "Instructions to Bidders" for specific information concerning Addendums.

## PROJECT SPECIFICATIONS

Project Name: Ferris Senior Center Renovation

Location: 201 E. 8<sup>th</sup> St., Ferris, Texas 75125

### OVERVIEW

This project will consist of renovating an approximately 2,427 SQFT portion of an existing commercial building. The project will generally include foundation repair, Wall/ceiling/floor and window repairs and renovation, ADA compatibility upgrades, commercial kitchen installation, repairs and upgrades to the buildings systems, site drainage work, and installing parking.

### LOCATION

201 E. 8th St., Ferris, Texas 75125

### CONSTRUCTION STANDARDS

All work shall conform to the 2012 ICC codes and 2014 NEC with local amendments and applicable referenced standards. ADA modifications shall additionally conform to the Texas Accessibility Standards. All trade work shall be completed by licensed tradesmen.

All refuse and trash generated shall be containerized. Containers will be provided by the City at no cost to the contractor.

### MATERIALS

All materials used shall be new and listed as required by code.

# INSTRUCTIONS TO BIDDERS

## SUMMARY

### DEFINITIONS

- A. Definitions set forth in other Contract Documents are applicable to the Bid Documents.
- B. Addenda: Written or graphic instruments issued prior to the opening of Bids, which clarify, modify, correct, or change the Bid Documents.
- C. Alternate Bid: The total amount bid for additions to the Work, as described in the Bid Documents. Each Alternate Bid shall include the cost of effects on adjacent or related components, and the Contractor's overhead and profit.
- D. Bid Documents: The Project Manual and Drawings, including Addenda, plus Notice to Bidders, Instructions to Bidders, and Supplements to Bid Forms identified in Document "Form of Proposal."
- E. Bidder: A person or entity who submits a Bid.
- F. Low Bidder: The apparent successful Bidder who qualifies as a responsible Bidder and who submits the Bid with the lowest Total Bid Price.
- G. Bid, Offer, Bidding: The act of submitting a complete and properly signed offer in accordance with these Instructions to Bidders. The Bid will be in the English language.
- H. Total Bid Price: The monetary amount for performing the Work as identified by the Bidder in Form of Proposal, which amount includes Cash Allowances and Alternate Bids, if any. Bid Price(s) will be in United States dollars.

### QUESTIONS, INTERPRETATIONS

- A. Bidder shall: 1) carefully study the Bid Documents and compare them with each other, 2) examine the site, conditions thereon, and local conditions, and 3) report at once to the Chief Building Official any errors, inconsistencies or ambiguities discovered.
- B. Direct questions to the Chief Building Official.
- C. Verbal discussions and answers are not binding. Requests from Bidders for clarifications and interpretations of content of documents must be in writing (mail or facsimile transmission

only), and must be received not less than 5 business days before the date set for receipt of Bids.

D. The reply will be by Addendum.

## **ADDENDA**

- A. Addenda issued to Bidding Requirements are applicable only during the bidding period. Addenda to the Post-Bid Procedures are applicable only through the issuance of the Notice to Proceed. Any Addenda issued to Contract Forms, Conditions of the Contract, Specifications or Drawings become a part of the Contract Documents. Include resultant costs in the Total Bid Price.
- B. Addenda will be issued by the Chief Building Official to Bidders of record by facsimile transmission or Email. Addenda will also be mailed to Bidders of record.
- C. Each Bidder shall ascertain, prior to submitting a Bid that the Bidder has received all Addenda issued. The Bidder shall acknowledge their receipt in the place indicated in the Form of Proposal.

## **SUBSTITUTIONS OF MATERIALS/EQUIPMENT**

- A. Substitutions may be considered on this Project during the bidding period.
- B. Voluntary substitutions by the Bidder may be considered.

## **SITE ASSESSMENT**

- A. Bidders shall examine the Project site before submitting a Bid, become familiar with local conditions under which the Work will be performed, conduct appropriate explorations, and correlate personal observations with requirements of the Bid Documents. Work will be performed in public right-of-way and City property. The site may be examined at any time during daylight hours.
- B. Bidder shall make site investigations to the extent Bidder deems necessary to ascertain the extent of subsurface conditions and variations thereof.
- C. Failure to perform such investigations during the bid period shall not relieve Bidder from responsibility for investigations, interpretations and proper use of available information in preparation of Bidder's proposal.

## **SUBCONTRACTORS/SUPPLIERS/OTHERS**

- A. The Owner reserves the right to reject a proposed Subcontractor or Supplier for reasonable cause.

## **BID SUBMISSION**

### **SUBMISSION PROCEDURES**

- A. Bidders shall be solely responsible for the delivery of their Bids in the manner and time prescribed in "Notice to Bidders."
- B. Submit one copy of the original executed offer on the bid forms provided, properly signed, with required Security Deposit, and other Supplements to Bid Forms, in a sealed, opaque envelope. On the outside of the envelope, clearly indicate that it is a sealed bid and include the Bidder's name, Project name and Owner name. Bids submitted by mail shall be enclosed in a separate envelope addressed for mailing, and identifying the enclosure as a bid.
- C. Fill in all blanks in the Bid forms. Acknowledge receipt of Addenda. Bid all Alternate Bids required by Bid Documents.
- D. A summary of submitted Bids will be made available to Bidders following the Bid opening.
- E. All costs and expenses incurred by the Bidder that are associated with preparation of the Bid shall be paid by and be the sole responsibility of the Bidder.

### **BID INELIGIBILITY**

- A. Failure to provide required Security Deposit in the proper amount will be cause to declare the Bid invalid.
- B. Improperly completed information may be cause for declaring the Bid invalid.
- C. Bids that are unsigned, improperly signed, illegible, obscure, altered, or which contain qualifications or irregularities of any kind, may be declared invalid. Form of Proposal, Supplements to the Bid Forms identified in the Form of Proposal, or enclosures which are improperly prepared, may be declared invalid.

### **SUPPLEMENTS TO BID FORMS**

- A. Bid submittals shall include any other documents specified in "Form of Proposal."

## **BID BOND**

- A. The bid bond must be a valid and enforceable bond, executed by a corporate Surety authorized by the Texas State Board of Insurance to conduct insurance business in the State of Texas and shall comply with other requirements set out by law or included in the Bid Documents.
- B. Endorse the bid bond in the name of the Owner as obligee, signed by the Contractor as principal, and executed, signed and sealed by the Surety.
- C. The bid bond must be conditioned such that if the Bidder is named apparent Low Bidder and then fails either to execute the Agreement timely or to provide any required bonds timely, or to do both, then in that event the Surety will be obligated to pay to the Owner an amount equal to the difference between the Bid of the Bidder on whom the bond was written and the Bid of the Bidder who is finally awarded the Contract and who executes the Agreement and provides the required bonds, up to the penal sum of the Bond.
- D. In addition, the Owner expressly reserves the right to reject any Bid if the Bid Bond (or Bid Bond rider) conditions the Bid in a way inconsistent with the Bid Documents. Examples include but are not limited to:
  - 1. A condition prohibiting the Owner from making a Claim against the Performance Bond Surety that would be allowable under the Contract and Performance Bond form published in the Bid Documents;
  - 2. A condition that provides that the Performance Bond Surety cannot be held liable for completing the Contract in case of default; or
  - 3. A condition limiting the Performance Bond Surety's liability for damages inconsistent with the Contract and Performance Bond form published in the Bid Documents.

## **BID FORM SIGNATURE**

- A. "Form of Proposal" shall be signed by the Bidder as follows:
  - 1. Sole Proprietorship: Full name, address, and signature of sole proprietor, signed in the presence of a witness who will also sign. Insert the words "Sole Proprietor" under the signature.
  - 2. Partnership: Name and address of the firm, signature of each partner in the presence of a witness who will also sign. The full name and address of each partner shall be given.

3. Corporation: Signature of duly authorized officer.
4. Joint Venture: Each party of the joint venture shall execute Form of Proposal under their respective seals in a manner appropriate to such party as described above, similar to the requirements of a Partnership.

### **DETERMINING LOWEST RESPONSIVE, RESPONSIBLE BIDDER**

#### **BIDDERS QUALIFICATIONS**

- A. Bids must contain evidence of the Bidder's qualifications to do business in the state of Texas. To demonstrate that the Bidder is responsible and able to perform the Work, funding policies dictate that each Bidder must submit, as a part of the Bidding Documents, all of the items listed below:

- Form of Proposal
- Bid Bond
- Statement of Bidder's Qualifications
- Certification of Bidder's Qualifications
- Non-Collusion Affidavit

Failure to submit these items with the Bid will result in a finding that the Bid is non-responsive and the Bid will be disqualified.

- B. Only the above data/information provided with the Bidding Documents may be used for evaluation and developing the Recommendation to Award by the Chief Building Official. Bidders will not be allowed to substitute any "Key Personnel" other than alternates presented in the Bid or examples of previous projects submitted in the Bid package. Minor clarifications of submitted materials will be permitted after Bid opening. Such request for clarifications will only be initiated by the Chief Building Official in writing and only written responses will be accepted.
- C. In determining the lowest responsible, responsive Bidder, the following elements, in addition to price, will be considered:
1. The quality, availability, and adaptability of the supplies, materials, equipment, or contractual services, to the particular use required;
  2. The ability, capacity and skill of the Bidder to perform the contract or to provide the service required;

3. Whether the Bidder can perform the contract and provide the service promptly, or within the time required, without delay or interference;
  4. The character, responsibility, integrity, reputation, and experience of the Bidder;
  5. The quality of performance by the Bidder of previous services or contracts;
  6. The previous and existing compliance by the Bidder with laws relating to the contract or service;
  7. Any previous or existing noncompliance by the Bidder with specifications or requirements relating to time of submission of specified data, such as samples, models, drawings, certificates, or other information;
  8. The sufficiency of the financial resources and ability of the Bidder to perform the contract or to provide the service;
  9. The ability of the Bidder to provide competent personnel for the job, as demonstrated by the submitted listing of the names and the skills of experienced personnel, including potential alternates, whom the Bidder currently employs and who will be available for performing this work; and
  10. The experience of the Bidder in performing work similar in type, size and complexity to this Project, as demonstrated by a listing of projects, with verifiable references (names, addresses, phone numbers, etc.), successfully completed.
- D. Bidder shall provide with the Bid an experience statement with pertinent information regarding similar projects and other evidence of qualifications for each such Subcontractor, Supplier, person, or organization.

**BIDDER MUST MEET THE FOLLOWING MINIMUM CRITERIA:**

- A. The Bidder must demonstrate \*\*Successful Completion, as defined below, during the last five (5) years of at least one project comparable in nature and scope to this Project. The comparable scope shall be at least 1/4 the size of the proposed Project.
- B. The Bidder must have an employee, to be dedicated to this Project, who is experienced in scheduling, with demonstrated ability in employing scheduling techniques similar to those to be used for this Project.

- C. Bidder may, at its discretion, include resumes of alternates for Key Personnel, and if in the process of bid evaluation, the Owner rejects any Key Personnel, the Owner will consider the alternates.

**\*\*SUCCESSFUL COMPLETION:** Defined as completion of a project on time, no more than thirty (30) days later than the original contract time, and within budget, within 5% of the original contract price. If there is any project submitted by the Bidder as qualifying, but which does not meet these requirements, in order to be fully responsible, the Bidder is required to submit detailed information on that project demonstrating what caused the increases to cost or time. The name and telephone numbers of the Design Engineer and the Client are to be provided for evaluation as to whether the project may be considered "successful". For any project where liquidated damages were assessed, the Bidder will not be considered to have been on time.

## **EVALUATION OF BIDS**

- A. The Owner will evaluate and compare only the bids determined to be responsive in accordance with the following:
1. Is the Bid complete (all Bidding Documents submitted);
  2. Have documents been properly signed;
  3. Are the required Bid securities part of the Bid package; and
  4. Are there any computational errors present?
- B. The Owner reserves the right to accept or reject any variation, deviation, or alternative offer which is not submitted in accordance with the bidding documents. Variations, deviations, alternative offers, and other factors that are in excess of the requirements of the bidding documents or which otherwise result in unsolicited benefits for the Owner, shall not be taken into account in bid evaluation.
- C. In evaluating the Bids, the Owner will determine for each Bid, the evaluated Bid price by adjusting the Bid price as follows:
1. Making any correction for errors;
  2. Excluding provisional sums and the provision, if any, for contingencies in the price schedules;

3. Taking an appropriate adjustment for any other quantifiable, acceptable non-material variations, deviations or alternative offers; and
  4. Making appropriate adjustments to reflect additional factors in the manner and to the extent indicated in the Bidding Documents.
- D. The Owner will award the contract to the Bidder whose Bid has been determined to be substantially responsive to the Bidding Documents and who has offered the lowest evaluated Bid price provided that such Bidder has been determined to be qualified to perform the contract satisfactorily in accordance with the provisions of the Bidding Documents.

### **OFFER ACCEPTANCE, REJECTION**

#### **ACCEPTANCE**

- A. The Owner will give notice of intent to award the Contract to the Low Bidder. Acceptance by the Owner is conditioned upon Bidder's submission of information for establishing satisfactory qualifications.
- B. The Bid shall remain open to acceptance and shall be irrevocable for the Period for Bid Acceptance stated in Notice to Bidders.
- C. Additional time taken by Contractor to fulfill requirements for submittals, including review and re- submittal, shall be added to the acceptance period.

#### **REJECTION**

- A. The Owner reserves the right to reject any and all Bids or to accept any Bid deemed advantageous to it.

#### **BID TABULATION**

- A. The Chief Building Official will tabulate, record, and evaluate the Bids of all responsible Bidders after the Bid opening.

#### **APPROVAL BY THE FUNDING AGENCIES**

- A. All addenda, contracts, work directives, change orders, time extensions, and other matters specified in the Contract Documents are not valid until the Ferris City Council approves them.

#### **TAX EXEMPT ORGANIZATION CERTIFICATE**

- A. This Contract is to be performed for an exempt organization as defined by Title 2; Subtitle E; Chapter 150 of the Texas Limited Sales, Excise and Use Tax Act and Section 151.311 of the State Statutes. The Owner will furnish the Contractor proof or Certificate of Exemption upon award of contract.
  
- B. Bidders shall not include sales tax in their Bid.

# FORM OF PROPOSAL

To: **CITY OF FERRIS** (Owner)

Project: **SENIOR CENTER RENOVATION**

Bidder: \_\_\_\_\_  
[Print or type full name of proprietorship, partnership, corporation, or joint venture]

## OFFER

Having examined the place of the Work and all matters referred to in the Bid Documents, and the Contract Documents prepared by or approved by the City for the named Project, we, the undersigned, hereby offer to enter into a Contract to perform the Work for the Total Bid Price of:

\_\_\_\_\_ (Dollars)  
[Print or type in words, Bidder's Total Bid Price]

(\$ \_\_\_\_\_)  
[Print or type in figures, Bidder's Total Bid Price]

**Period for Bid Acceptance.** This offer shall be open to acceptance and is irrevocable for 90 days from the Bid date. That period may be extended by mutual written agreement of the Owner and the Bidder. After 90 days, the Bidder may withdraw without penalty if no mutual agreement can be reached.

## CONTRACT TIME

If this offer is accepted, Substantial Completion of the Work will be achieved within the time stated in document "Notice to Bidders." The Date of Commencement will be established by the Notice to Proceed.

## ADDENDA

The following Addenda have been received. The modifications to the Bid Documents noted therein have been considered and all costs relating thereto are included in the Bid Price:

Addendum No. \_\_\_\_\_, dated \_\_\_\_\_

Addendum No. \_\_\_\_\_, dated \_\_\_\_\_

**SUPPLEMENTS TO THIS BID:**

The following Supplements are attached as an integral part of this Bid:

- Form of Proposal
- Bid Bond
- Statement of Bidder’s Qualifications
- Certification of Bidder’s Qualifications
- Non-Collusion Affidavit

**SIGNATURES:**

Bidder: \_\_\_\_\_  
[Please print or type the full name of your proprietorship, partnership, corporation, or joint venture.\*]

By: \_\_\_\_\_  
[Signature]\*\* [Date]

Name: \_\_\_\_\_  
[Please print or type name] [Title]

Address: \_\_\_\_\_  
[Mailing]  
\_\_\_\_\_  
[Street, if different]

Telephone: \_\_\_\_\_  
[Print or type telephone number]

\* If the Bid is a joint venture, add additional Bid form signature sheets for each member of the joint venture.

\*\* The undersigned, as bidder, certifies that the only person or parties interested in this proposal as principals are those named herein; that the Bidder has not, either directly or indirectly, entered into any agreement, participated in any collusion, or otherwise taken any action in restraint of free competitive bidding in connection with the Contract for the Project.

Note: This document constitutes a government record, as defined by § 37.01 of the Texas Penal Code. Submission of a false government record is punishable as provided In § 37.10 of the Texas Penal Code.

**BID BOND**

KNOW ALL MEN BY THESE PRESENTS:

That we the undersigned \_\_\_\_\_ as Principal, and \_\_\_\_\_ as Surety, are hereby held and firmly bound unto City of Ferris as OWNER in the penal sum of (amount) or 5% of the bid for the payment of which, well and truly to be made, we hereby jointly and severally bind ourselves, successors and assigns.

Signed, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

The Condition of the above obligation is such that whereas the Principal has submitted to **City of Ferris** a certain BID, attached hereto and hereby made a part hereof to enter into a contract in writing for the **Ferris Senior Center Renovation**.

NOW, THEREFORE, if said BID shall be accepted and the Principal shall execute and deliver a contract in the Form of Contract attached hereto (properly completed in accordance with said BID) and shall furnish a BOND for his faithful performance of said contract, and for the payment of all persons performing labor or furnishing materials in connection therewith and shall in all other respects perform the agreement created by the acceptance of said BID, then this obligation shall be void, otherwise the same shall remain in force and effect; it being expressly understood and agreed that the liability of the Surety for any and all claims hereunder shall, in no event, exceed the penal amount of this obligation as herein stated.

The Surety, for value received, hereby stipulates and agrees that the obligations of said Surety and its BOND shall be in no way impaired or affected by any extension of the time within which the OWNER may accept such BID; and said Surety does hereby waive notice of any such extension.

IN WITNESS WHEREOF, the Principal and the Surety have hereunto set their hands and seals, and such of them as are corporations have caused their corporate seals to be hereto affixed and these presents to be signed by their proper officers, the day and year first set forth above.

\_\_\_\_\_  
Principal

\_\_\_\_\_  
Title

\_\_\_\_\_  
Surety

\_\_\_\_\_  
By: Attorney-in-Fact

(SEAL)  
ATTEST:

IMPORTANT - Surety companies executing BONDS must be authorized to transact business in the State where the project is located.

## STATEMENT OF BIDDER'S QUALIFICATIONS

BIDDER: \_\_\_\_\_

PROJECT NAME: **FERRIS SENIOR CENTER RENOVATION**

### ORGANIZATION

How many years has your organization been in business as a Contractor? \_\_\_\_\_

How many years has your organization been in business under its present business name?

\_\_\_\_\_

Under what other or former names has your organization operated?

\_\_\_\_\_

If your organization is a corporation, answer the following:

Date of incorporation: \_\_\_\_\_

State of incorporation: \_\_\_\_\_

President's name: \_\_\_\_\_

Vice-president's name(s): \_\_\_\_\_

Secretary's name: \_\_\_\_\_

Treasurer's name: \_\_\_\_\_

If your organization is a partnership, answer the following:

Date of organization: \_\_\_\_\_

Type of partnership (if applicable): \_\_\_\_\_

Name(s) of general partner(s): \_\_\_\_\_

If your organization is individually owned, answer the following:

Date of organization: \_\_\_\_\_

Name of owner: \_\_\_\_\_

If the form of your organization is other than those listed above, describe it and name the principals:

\_\_\_\_\_  
\_\_\_\_\_

**EXPERIENCE**

List the categories of work that your organization normally performs with its own forces.

\_\_\_\_\_  
\_\_\_\_\_

**CLAIMS AND SUITS**

If the answer to any of the questions below is yes, please attach details:

Has your organization ever failed to complete any work awarded to it? \_\_\_\_\_

Are there any judgments, claims, arbitration proceedings or suits pending or outstanding against your organization or its officers? \_\_\_\_\_

Has your organization filed any law suits or requested arbitration with regard to construction contracts within the last five years? \_\_\_\_\_

Within the last five years, has any officer or principal of your organization ever been an officer or principal of another organization when it failed to complete a construction contract? (If the answer is yes, please attach details.) \_\_\_\_\_

On a separate sheet, list major construction projects your organization has in progress, giving the name of project, owner, architect, contract amount, percent complete and scheduled completion date.

State total worth of work in progress and under contract: \_\_\_\_\_

On a separate sheet, list the major projects your organization has completed in the past five years, giving the name of project, owner, architect, contract amount, date of completion and percentage of the cost of the work performed with your own forces.

State annual amount of construction work performed each year during the past five years:

Year	Amount
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

On a separate sheet, list the construction experience and present commitments of the key individuals of your organization. Submit resumes of Key Personnel (as defined in the Instructions to Bidders). Bidder hereby certifies that the Resident Superintendent has the authority to act on behalf of the Contractor at all times. No substitution shall be made without the written authorization of the Owner based upon acceptance of the qualifications of the proposed substitute.

Provide form "Certification of Bidder's Qualifications" as evidence that the Bidder meets the minimum criteria called out in the Instructions to Bidders.

**REFERENCES**

On a separate sheet, list three (3) Trade References and two (2) Bank References.

**SURETY**

Name and telephone number of Bonding Company:

\_\_\_\_\_

Name, telephone and address of Agent:

\_\_\_\_\_

---

**SIGNATURE**

To be executed by a Principal of the firm authorized to certify the foregoing information:

\_\_\_\_\_, being duly sworn, deposes and says that the information provided herein is true and sufficiently complete so as not to be misleading.

Dated at \_\_\_\_\_ this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Name of Organization: \_\_\_\_\_

By: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Title: \_\_\_\_\_

## CERTIFICATE OF BIDDER'S EXPERIENCE & QUALIFICATIONS

The undersigned bidder certifies that he is, at the time of bidding, and shall be, throughout the period of the contract, licensed by the State of Texas to do the type of work required under terms of the contract documents. Bidder further certifies that he is skilled and regularly engaged in the general class and type of work called for in the contract documents.

The bidder represents that he is competent, knowledgeable and has special skills on the nature, extent and inherent conditions of the work to be performed. Bidder further acknowledges that there are certain peculiar and inherent conditions existent in the construction of the particular facilities which may create, during the construction program, unusual or peculiar unsafe conditions hazardous to persons and property. Bidder expressly acknowledges that he is aware of such peculiar risks and that he has the skill and experience to foresee and to adopt protective measures to adequately and safely perform the construction work with respect to such hazards.

Signed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
Name of Bidder

\_\_\_\_\_  
Contractor's License No. and State

\_\_\_\_\_  
Signature of Bidder

\_\_\_\_\_  
Title of Signatory

### NONCOLLUSION AFFIDAVIT

STATE OF TEXAS  
COUNTY OF ELLIS

\_\_\_\_\_, being first duly sworn, deposes and says that:  
(Name)

(1) He is President of \_\_\_\_\_, the Bidder that has submitted the attached Bid;  
(Company)

(2) He is fully informed respecting the preparation and contents of the attached Bid and of all pertinent circumstances respecting such Bid;

(3) Such Bid is genuine and is not a collusive or sham Bid;

(4) Neither said Bidder nor any of its officers, partners, owners, agents, representatives, employees or parties in interest, including this affiant, has in any way colluded, conspired, connived or agreed directly or indirectly with another Bidder, firm or person to submit a collusive or sham Bid in connection with the Contract for which the attached Bid has been submitted or to refrain from bidding in connection with such contract, or has in any manner, directly or indirectly, sought by agreement or collusion or communication or conference with any other Bidder, firm or person to fix the price or prices in the attached Bid or of any other Bidder, or to fix an overhead, profit or cost element of the Bid price or the Bid price of any other Bidder, or to secure through any collusion, conspiracy, connivance or unlawful agreement any advantage against the **CITY OF FERRIS**, or any person interested in the proposed Contract; and

(5) The price or prices quoted in the attached Bid are fair and proper and are not tainted by any collusion, conspiracy, connivance or unlawful agreement on the part of the Bidder or any of its agents, representatives, owners, employees, or parties in interest, including affiant.

Sign: \_\_\_\_\_

Title: \_\_\_\_\_

Subscribed and sworn to me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
Notary Public  
My commission expires: \_\_\_\_\_

## **AGREEMENT BETWEEN OWNER AND CONTRACTOR**

**THIS AGREEMENT** is by and between The City of Ferris, Texas (hereinafter called OWNER) and \_\_\_\_\_ (hereinafter called CONTRACTOR).

OWNER and CONTRACTOR, in consideration of the mutual covenants hereinafter set forth, agree as follows:

### **ARTICLE 1 – WORK**

1.1 CONTRACTOR shall complete all Work as specified or indicated in the Contract Documents. The Work is generally described as follows:

Renovating an approximately 2,427 SQFT portion of an existing commercial building. The project will generally include foundation repair, Wall/ceiling/floor and window repairs and renovation, ADA compatibility upgrades, commercial kitchen installation, repairs and upgrades to the buildings systems, site drainage work, and installing parking.

### **ARTICLE 2 – THE PROJECT**

2.1 The Project for which the Work under the Contract Documents may be the whole or only a part is generally described as follows:

Ferris Senior Center Renovation

### **ARTICLE 3 – CONTRACT TIMES**

3.1 TIME OF THE ESSENCE

A. All time limits for Milestones, if any, Substantial Completion, and completion and readiness for final payment as stated in the Contract Documents are of the essence of the Contract.

3.2 DAYS TO ACHIEVE SUBSTANTIAL COMPLETION AND FINAL PAYMENT

A. The Work will be substantially completed within the time stated in Document “Notice to Bidders.”

### 3.3 LIQUIDATED DAMAGES

A. CONTRACTOR and OWNER recognize that time is of the essence of this Agreement and that OWNER will suffer financial loss if the Work is not completed within the times specified in paragraph 3.2 above, plus any extensions thereof allowed in accordance with Article 12 of the General Conditions. The parties also recognize the delays, expense, and difficulties involved in proving in a legal or arbitration proceeding the actual loss suffered by OWNER if the Work is not completed on time. Accordingly, instead of requiring any such proof, OWNER and CONTRACTOR agree that as liquidated damages for delay (but not as a penalty), CONTRACTOR shall pay OWNER \$500.00 for each day that expires after the time specified in paragraph 3.2 for Substantial Completion until the Work is substantially complete. After Substantial Completion, if CONTRACTOR shall neglect, refuse, or fail to complete the remaining Work within the Contract Time or any proper extension thereof granted by OWNER, CONTRACTOR shall pay OWNER \$ 1,000.00 for each day that expires after the time specified in paragraph 3.2 for completion and readiness for final payment until the Work is completed and ready for final payment.

## ARTICLE 4 – CONTRACT PRICE

4.1 OWNER shall pay CONTRACTOR for completion of the Work in accordance with the Contract Documents an amount in current funds equal to the sum of the amount determined pursuant to paragraph 4.1.A; below:

A. For all Work, at the prices stated in CONTRACTOR's Bid, attached hereto as an exhibit.

## ARTICLE 5 – PAYMENT PROCEDURES

5.1 Upon final completion and acceptance of the Work, OWNER shall pay the Contract Price in full.

## ARTICLE 6 – CONTRACTOR'S REPRESENTATIONS

6.1 In order to induce OWNER to enter into this Agreement, CONTRACTOR makes the following representations:

A. CONTRACTOR has examined and carefully studied the Contract Documents and the other related data identified in the Bidding Documents.

B. CONTRACTOR has visited the Site and become familiar with and is satisfied as to the general, local, and Site conditions that may affect cost, progress, and performance of the Work.

- C. CONTRACTOR is familiar with and is satisfied as to all federal, state, and local laws and regulations that may affect cost, progress, and performance of the Work.
- D. CONTRACTOR has obtained and carefully studied (or assumes responsibility for having done so) all examinations, investigations, explorations, tests, studies, and data concerning conditions (surface, subsurface, and Underground Facilities) at or contiguous to the Site which may affect cost, progress, or performance of the Work or which relate to any aspect of the means, methods, techniques, sequences, and procedures of construction to be employed by CONTRACTOR, including applying the specific means, methods, techniques, sequences, and procedures of construction, if any, expressly required by the Contract Documents to be employed by CONTRACTOR, and safety precautions and programs incident thereto.
- E. CONTRACTOR does not consider that any further examinations, investigations, explorations, tests, studies, or data are necessary for the performance of the Work at the Contract Price, within the Contract Times, and in accordance with the other terms and conditions of the Contract Documents.
- F. CONTRACTOR is aware of the general nature of work to be performed by OWNER and others at the Site that relates to the Work as indicated in the Contract Documents.
- G. CONTRACTOR has correlated the information known to CONTRACTOR, information and observations obtained from visits to the Site, and all examinations, investigations, explorations, tests, studies, and data with the Contract Documents.
- H. CONTRACTOR has given OWNER written notice of all conflicts, errors, ambiguities, or discrepancies that CONTRACTOR has discovered in the Contract Documents, and the written resolutions thereof by OWNER is acceptable to CONTRACTOR.
- I. The Contract Documents are generally sufficient to indicate and convey understanding of all terms and conditions for performance and furnishing of the Work.

## **ARTICLE 7 – CONTRACT DOCUMENTS**

### **7.1 CONTENTS**

- A. The Contract Documents consist of the documents listed in the table of contents of the Project Manual and the drawings listed on the Sheet Index in the Drawings. The following documents may be delivered or issued on or after the Effective Date of the Agreement and are not attached hereto:

1. Written Amendments;
  2. Work Change Directives; and
  3. Change Order(s).
- B. The documents listed in paragraph 7.1.A. are attached to this Agreement (except as expressly noted otherwise above).
- C. There are no Contract Documents other than those listed above in this Article 7.

## **ARTICLE 8 – MISCELLANEOUS**

### **8.1 TERMS**

A. Terms used in this Agreement will have the meanings indicated in the General Conditions.

### **8.2 ASSIGNMENT OF CONTRACT**

A. No assignment by a party hereto of any rights under or interests in the Contract will be binding on another party hereto without the written consent of the party sought to be bound; and, specifically but without limitation, moneys that may become due and moneys that are due may not be assigned without such consent (except to the extent that the effect of this restriction may be limited by law), and unless specifically stated to the contrary in any written consent to an assignment, no assignment will release or discharge the assignor from any duty or responsibility under the Contract Documents.

### **8.3 SUCCESSORS AND ASSIGNS**

A. OWNER and CONTRACTOR each binds itself, its partners, successors, assigns, and legal representatives to the other party hereto, its partners, successors, assigns, and legal representatives in respect to all covenants, agreements, and obligations contained in the Contract Documents.

### **8.4 SEVERABILITY**

A. Any provision or part of the Contract Documents held to be void or unenforceable under any law or regulation shall be deemed stricken, and all remaining provisions shall continue to be valid and binding upon OWNER and CONTRACTOR, who agree that the Contract Documents shall be reformed to replace such stricken provision or part thereof

with a valid and enforceable provision that comes as close as possible to expressing the intention of the stricken provision.

IN WITNESS WHEREOF, OWNER and CONTRACTOR have signed this Agreement in duplicate. One counterpart each has been delivered to OWNER and CONTRACTOR. All portions of the Contract Documents have been signed or identified by OWNER and CONTRACTOR or on their behalf.

This Agreement will be effective on \_\_\_\_\_, 20\_\_\_\_ (“Effective Date”).

**OWNER:** City of Ferris, Texas

**CONTRACTOR:**

By: \_\_\_\_\_  
Micheal Driggars, Mayor

By: \_\_\_\_\_

Address for Giving Notices:

Title: \_\_\_\_\_

Address for Giving Notices:

100 Town Plaza  
Ferris, TX 75125

Registered Agent: \_\_\_\_\_

Designated Representative:

Designated Representative:  
(Name address and phone)

William Jordan  
Chief Building Official  
100 Town Plaza  
Ferris, TX 75125  
Phone: 972-544-2965  
Fax: 972-544-8259

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

## Notification Data Summary

2016/03/02

Page 1 of 3

Notification Number **2016002093**  
Status **Original**

### Facility Owner

Name **CITY OF FERRIS**  
Attention **BILL JORDAN**  
Address **100 TOWN PLAZA**  
**FERRIS, TX 75125**  
Phone **972-544-2965**

### Section I - Facility Information

Type **Public**  
Is this a phased abatement project? **No**  
Facility **Former Church Structure**  
**211 East 8th Street**  
**ELLIS**  
**FERRIS, TX**  
**75125**  
Facility Contact **Bill Jordan**  
Phone **972-544-2965**  
Area Description/ Room Number **Various locations throughout facility**  
Age of building **76 years**  
Size **4737 square feet**  
Number of floors **1**  
Is Building Occupied? **No**  
Is the facility a School K-12? **No**  
Date of Asbestos Survey/NESHAP Inspection **Nov 25, 2015**  
Analytical Method **PLM**

### Section II - Type of Notification

Type **Original**  
Is this project an emergency? **No**

### Section III - Type of Work/Schedule

Type **Abatement**  
Asbestos Abatement Work Schedule  
Start Date **Mar 16, 2016**  
End Date **Mar 24, 2016**  
Day(s) of Operation **Sun, Mon, Tue, Wed, Thu, Fri, Sat,**  
Work Hours **8:00 AM to 5:00 PM**  
Select abatement methods to be used **Full Containment**

### Section IV - Asbestos to be Affected by Abatement/Demolition Activity



RACM to be removed	
Linear Feet	0
Square Feet	6560

### Section V - Description of work practices

Description	<b>STOP WORK. NOTIFY DSHS AND CONSULTANT. ERECT CRITICAL BARRIER, PLACE UNDER NEGATIVE PRESSURE TO ALLOW CLEANUP UTILIZING THE WET METHODS. ABATEMENT OF DRYWALL, FLOORING, AND ROOFING UNDER NEGATIVE PRESSURE CONTAINMENT AND PROPER DISPOSAL PER TDSHS, OSHA, EPA AND NESHAP REGS. CRITICAL BARRIER, WET REMOVAL AND PROPER DISPOSAL PER CONSULTANT SPECS INCLUDING TDSHS, OSHA AND EPA REGS.</b>
-------------	--

### Section VI - Project Personnel

Asbestos Abatement Contractor	
DSHS License #	801057
Name	PACIFIC ENVIRONMENTAL GROUP LLC
Address	2435 SOUTHWELL RD STE 3 DALLAS, TX 75229
Phone	214-989-4044
Jobsite Phone	469-789-9509

Project Consultant	
DSHS License #	100516
Name	JEWELL WAYNE ULRICK
Address	801 FOREST RIDGE DR STE 110 BEDFORD, TX 76022
Phone	214-536-0634

Waste Disposal Site	
TCEQ Permit #	1025B
Name	DFW LANDFILL
Address	1600 S. RAILROAD STREET LEWISVILLE, TX 75067
Phone	972-315-5400



---

Waste Transporter	
DSHS License #	<b>400525</b>
Name	<b>PACIFIC ENVIRONMENTAL GROUP LLC</b>
Address	<b>2435 SOUTHWELL RD STE 3 DALLAS, TX 75229</b>
Phone	<b>214-989-4044</b>

**Certification Statement**

Name	<b>Lisia Moala</b>
Title	<b>As Owner Agent</b>
Company Affiliation	<b>Pacific Environmental Group, LLC</b>
Phone	<b>214-989-4044</b>
Email	<b>lisia@pacific-environmental.com</b>
Date	<b>Mar 02, 2016</b>





# Interior Lighting Compliance Certificate

## Project Information

Energy Code: 2012 IECC  
 Project Title: Ferris Community Center  
 Project Type: New Construction

Construction Site:  
 211 8th Street  
 Ferris, TX

Owner/Agent:

Designer/Contractor:  
 Michael Arra  
 Maxfield's Consulting  
 3809 Plymouth Drive  
 Plano, TX 75032  
 254-228-6168

## Additional Efficiency Package

High efficiency HVAC. Systems that do not meet the performance requirement will be identified in the mechanical requirements checklist report.

## Allowed Interior Lighting Power

A Area Category	B Floor Area (ft2)	C Allowed Watts / ft2	D Allowed Watts (B X C)
1-Meeting Center (Common Space Types:Conference / Meeting / Multipurpose)	2158	1.19	2590
Total Allowed Watts =			2590

## Proposed Interior Lighting Power

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt.	E (C X D)
1-Meeting Center (Common Space Types:Conference / Meeting / Multipurpose)				
LED 1: Type A: Recessed 2x4: LED Panel 54W:	1	16	54	864
LED 2: Type B: Surface: LED PAR 18W:	1	5	18	90
LED 3: Type C: Recessed DL: LED A Lamp 25W:	1	28	26	728
LED 4: Type D: Recessed WW: LED A Lamp 25W:	1	3	26	78
LED 5: Type G: Decorative Vanity: LED A Lamp 25W:	4	2	72	144
Total Proposed Watts =				1904

**Interior Lighting PASSES: Design 26% better than code**

## Interior Lighting Compliance Statement

*Compliance Statement:* The proposed interior lighting design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed interior lighting systems have been designed to meet the 2012 IECC requirements in COMcheck Version 4.0.2.2 and to comply with the mandatory requirements listed in the Inspection Checklist.

Michael Arra - Designer  
 Name - Title

*Michael Arra*  
 Signature

05-12-16  
 Date



# Inspection Checklist

Energy Code: 2012 IECC

Requirements: 67.0% were addressed directly in the COMcheck software

Text in the "Comments/Assumptions" column is provided by the user in the COMcheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Plan Review	Complies?	Comments/Assumptions
C103.2 [PR4] <sup>1</sup>	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the interior lighting and electrical systems and equipment and document where exceptions to the standard are claimed. Information provided should include interior lighting power calculations, wattage of bulbs and ballasts, transformers and control devices.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C406 [PR9] <sup>1</sup>	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the additional energy efficiency package options.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

**Additional Comments/Assumptions:**

1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
---	----------------------	---	------------------------	---	---------------------

Section # & Req.ID	Rough-In Electrical Inspection	Complies?	Comments/Assumptions
C405.2.2.1 [EL22] <sup>2</sup>	Automatic controls to shut off all building lighting installed in all buildings.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	<b>Exception:</b> Lighting controlled by occupancy sensors. <b>Location on plans/spec:</b> E1
C405.2.1.1 [EL23] <sup>2</sup>	Independent lighting controls installed per approved lighting plans and all manual controls readily accessible and visible to occupants.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> E1
C405.2.1.2 [EL15] <sup>1</sup>	Lighting controls installed to uniformly reduce the lighting load by at least 50%.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> E1
C405.2.2.3 [EL16] <sup>2</sup>	Daylight zones provided with individual controls that control the lights independent of general area lighting.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> E1
C405.2.3 [EL17] <sup>3</sup>	Sleeping units have at least one master switch at the main entry door that controls wired luminaires and switched receptacles.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	<b>Exception:</b> Requirement does not apply.
C405.2.2.2 [EL18] <sup>1</sup>	Occupancy sensors installed in required spaces.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> E1
C405.2.2.3 [EL20] <sup>1</sup>	Primary sidelighted areas are equipped with required lighting controls.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	<b>Exception:</b> Requirement does not apply.
C405.2.2.3 [EL21] <sup>1</sup>	Enclosed spaces with daylight area under skylights and rooftop monitors are equipped with required lighting controls.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	<b>Exception:</b> Requirement does not apply.
C405.2.3 [EL4] <sup>1</sup>	Separate lighting control devices for specific uses installed per approved lighting plans.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> E1
C405.3 [EL19] <sup>3</sup>	Fluorescent luminaires with odd numbered lamp configurations that are within 10 feet center to center (if recess mounted) or are within 1 foot edge to edge (if pendant or surface mounted) shall be tandem wired.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	<b>Exception:</b> Requirement does not apply.
C405.4 [EL6] <sup>1</sup>	Exit signs do not exceed 5 watts per face.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> E1
C405.2.3 [EL8] <sup>1</sup>	Additional interior lighting power allowed for special functions per the approved lighting plans and is automatically controlled and separated from general lighting.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> E1

**Additional Comments/Assumptions:**

1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
---	----------------------	---	------------------------	---	---------------------

1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
---	----------------------	---	------------------------	---	---------------------

---

Project Title: Ferris Community Center

Report date: 05/12/16

Data filename: H:\Projects\Dropbox\CG-2016 Projects\Ferris Community Center\Ferris Community Center\CCK\FCC.cck

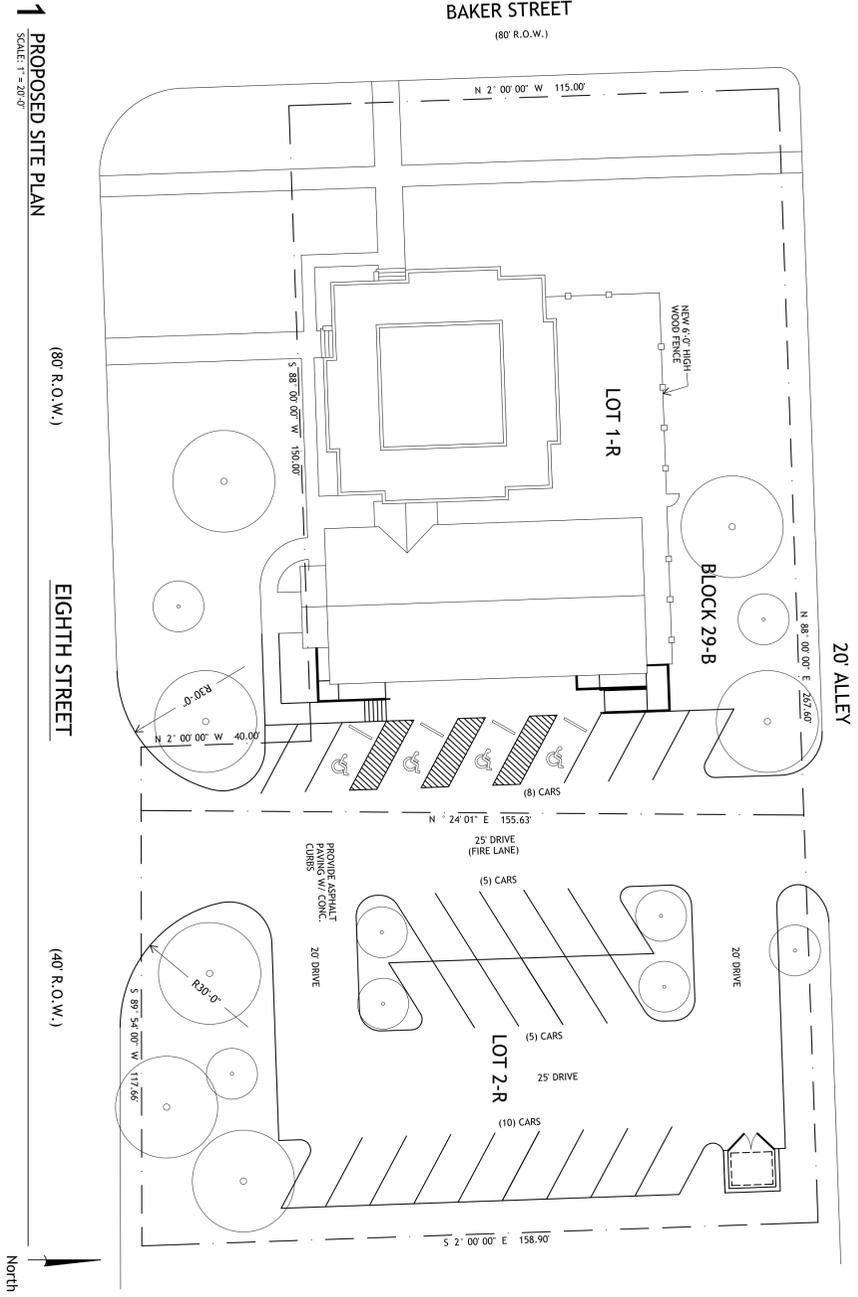
Page 4 of 6

Section # & Req.ID	Final Inspection	Complies?	Comments/Assumptions
C408.2.5.1 [FI16] <sup>3</sup>	Furnished as-built drawings for electric power systems within 30 days of system acceptance.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C303.3, C408.2.5.2 [FI17] <sup>3</sup>	Furnished O&M instructions for systems and equipment to the building owner or designated representative.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.5.2 [FI18] <sup>1</sup>	Interior installed lamp and fixture lighting power is consistent with what is shown on the approved lighting plans, demonstrating proposed watts are less than or equal to allowed watts.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	<i>See the Interior Lighting fixture schedule for values.</i>
C408.3 [FI33] <sup>1</sup>	Lighting systems have been tested to ensure proper calibration, adjustment, programming, and operation.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C406 [FI34] <sup>1</sup>	Efficient HVAC performance, efficient lighting system, or on-site supply of renewable energy consistent with what is shown the approved plans.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

**Additional Comments/Assumptions:**

1 High Impact (Tier 1)	2 Medium Impact (Tier 2)	3 Low Impact (Tier 3)
------------------------	--------------------------	-----------------------





1 PROPOSED SITE PLAN  
SCALE: 1" = 20'-0"

**GENERAL NOTES**

GENERAL CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.

G. C. SHALL INFORM THE ARCHITECT IMMEDIATELY SHOULD ANY CONFLICTS OR OMISSIONS BE DISCOVERED IN THE CONTRACT DOCUMENTS.

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS AND/OR SUPPLIERS ARE RESPONSIBLE FOR ALL INFORMATION CONTAINED IN ALL DRAWINGS OF THIS SET OF DOCUMENTS WHETHER ON DRAWINGS ASSOCIATED WITH THEIR TRADE OR ANY OTHER TRADE INVOLVED IN THE CONSTRUCTION OF THIS PROJECT. SHOULD ANY CONFLICTS OR OMISSIONS BE DISCOVERED IN THE CONTRACT DOCUMENTS, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR RESOLUTION.

UPON FINDING CONDITIONS DIFFERENT THAN THOSE INDICATED IN THESE DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR DIRECTION AS TO THE APPROPRIATE COURSE OF ACTION.

GENERAL CONTRACTOR SHALL CONSTRUCT BUILDING ACCURATELY AND WITH THE DIMENSIONS INDICATED IN THE DRAWINGS.

GENERAL CONTRACTOR SHALL CONSTRUCT BUILDING ACCURATELY AND WITH THE DIMENSIONS INDICATED IN THE DRAWINGS. DIMENSIONS ARE TO FACE OF EXISTING WALLS AND / OR TO FACE OF NEW CONSTRUCTION WALLS. CONSTRUCTION SHALL BE SUCH THAT CLEAR FLOOR SPACES AND OPENINGS SHALL BE AS SHOWN ON THE DRAWINGS. DIMENSIONS ARE NOT REDUCED OR INCREASED.

THE CONTRACTOR SHALL OBTAIN PERMITS AND SUBCONTRACTORS WHO ARE EXPERIENCED AND SKILLED IN THE TRADES AND TASKS ASSIGNED OR CONTRACTED. ALL NEW CONSTRUCTION SHALL MATCH TO THE GREATEST EXTENT POSSIBLE EXISTING AND ADJACENT CONSTRUCTION WITH REGARD TO ALIGNMENT, TEXTURE, FINISH AND MATERIALS. THE CONTRACTOR SHALL OBTAIN PERMITS AND APPROVALS REQUIRED FOR THE COMPLETE CONSTRUCTION OF THE PROJECT.

THE CONTRACTOR SHALL BE SUBJECT TO THE RULES ESTABLISHED BY THE PROPERTY MANAGEMENT FOR CONSTRUCTION ACTIVITIES AND TO THE ALLOWABLE HOURS OF OPERATION. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE TENANT FOR WORK TO BE PERFORMED BY THE TENANT OR HIS SEPARATELY CONTRACTED SUPPLIERS AND WORKMEN. SUCH WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE TENANT'S SCHEDULE. EQUIPMENT AND SYSTEMS INSTALLATION. CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ALL APPLICABLE SALES TAX PAYMENT STATUTES TO THE TENANT.

THE CONTRACTOR SHALL WAIVER ALL WORK, MATERIAL AND EQUIPMENT INSTALLED IN THAT PORTION OF THE PROJECT WITHIN THE CONTRACT ZONES FOR A PERIOD OF 30 DAYS FROM THE DATE OF SUBSTANTIAL COMPLETION TO THE TENANT AT THE OPTION OF THE CONTRACTOR. THE CONTRACTOR SHALL PROVIDE COPIES OF ANY PRODUCT MANUFACTURER'S WARRANTIES AND THE DATE OF SUBSTANTIAL COMPLETION TO THE TENANT AT THE OPTION OF THE CONTRACTOR. GC SHALL VISIT THE JOB SITE AND VERIFY ALL CONDITIONS PRIOR TO START OF CONSTRUCTION. VERIFY LOCATIONS OF ALL UTILITIES SERVING THE SITE PRIOR TO CONSTRUCTION. EXISTING UTILITIES ARE TO REMAIN AS TO UNLESS NOTED OTHERWISE. GC TO PROVIDE DUST CONTROL DURING CONSTRUCTION.

GC SHALL VISIT THE JOB SITE AND VERIFY ALL CONDITIONS PRIOR TO START OF CONSTRUCTION. VERIFY LOCATIONS OF ALL UTILITIES SERVING THE SITE PRIOR TO CONSTRUCTION. EXISTING UTILITIES ARE TO REMAIN AS TO UNLESS NOTED OTHERWISE. GC TO PROVIDE DUST CONTROL DURING CONSTRUCTION.

**20' ALLEY**

**EIGHTH STREET**

**(40' R.O.W.)**

ALL CEILING AND WALL DEVICES SHALL BE INSTALLED IN AN OBTUSELY MANNER AS INDICATED ON THE DRAWINGS. DEVICES THAT ARE REQUIRED BUT NOT SHOWN ON THE DRAWINGS SHALL BE INSTALLED IN THE SAME MANNER AND LOCATIONS TO BE COORDINATED WITH ADJACENT DEVICES.

ELECTRICAL AND MECHANICAL INFORMATION SHOWN ON PLANS ARE FOR DIMENSIONAL / LOCATION PURPOSES ONLY. REFER TO THE MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR QUANTITIES ON TRADE TYPES. GC TO PROVIDE ANY AND ALL PARTS / ACCESSORIES REQUIRED FOR THE PROPER INSTALLATION AND/OR USE OF ITEMS SCHEDULED ON THE PLANS.

G.C. SHALL VERIFY THAT BUILDING STRUCTURE IS SOUND & LEVEL. REPAIR AS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES AND PROCEDURES EMPLOYED IN THE PERFORMANCE OF WORK IN, ON OR ABOUT THE JOB SITE. THE CONTRACTOR SHALL COORDINATE AND VERIFY ALL WORK PERFORMED BY SUBCONTRACTORS. NEITHER THE ARCHITECT'S REVIEW NOR APPROVAL OF SHOP DRAWINGS OR SPECIFICATIONS UNLESS HE HAS CALLED IT TO THE ARCHITECT'S ATTENTION, IN WRITING, TO SUCH DEVIATIONS OR OMISSIONS SHALL RELIEVE HIM OF RESPONSIBILITY FOR ERRORS OF ANY SORT IN THE SHOP DRAWINGS.

DO NOT SCALE DRAWINGS. DIMENSIONS ARE TO GOVERN. LARGE SCALE DRAWINGS SHALL GOVERN OVER SMALL SCALE DRAWINGS. WHENEVER OR NOT DETAILED ON DRAWINGS, THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK AND OF ALL WALL MOUNTED OR SUSPENDED EQUIPMENT INCLUDING PLASTWOOD BACKBOARDS FOR TELEPHONE AND ELECTRICAL EQUIPMENT.

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK ON, OR RELATED TO THIS PROJECT SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK, THE PUBLIC IS PROTECTED, AND SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT AND ALL OTHER APPLICABLE STATE AND/OR LOCAL SAFETY REGULATIONS. THE CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SAFETY CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THAT THIS REQUIREMENT SHALL APPLY TO ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK ON AND ABOUT THE PROJECT FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.

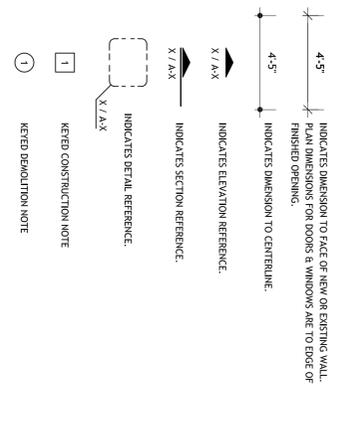
EACH SUBCONTRACTOR SHALL MAKE HER OWN FIELD MEASUREMENTS. SHOULD ANY STRUCTURAL DIFFICULTIES ARISE OVER THE INSTALLATION OF THE EQUIPMENT HE SHALL NOTIFY THE CONTRACTOR, WHO WILL THEN NOTIFY THE ARCHITECT. SUBCONTRACTORS SHALL VERIFY ALL AS-BUILT CONDITIONS AND SHALL VERIFY WITH THE ARCHITECT AND PROPERTY MANAGEMENT ON SITE PRIOR TO INSTALLATION AND SHIPMENT OF EQUIPMENT TO THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE timely arrival of all specified finish materials, equipment, light fixtures and any other such materials to be utilized on this project. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING WITHIN 10 DAYS OF THE DATE OF CONTRACT OF THOSE SPECIFIED ITEMS THAT MAY NOT BE READILY AVAILABLE AND OF EQUAL QUALITY AND DESCRIPTION. IF NO TOLERANCE IS NOT READILY AVAILABLE AND OF EQUAL QUALITY AND DESCRIPTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE timely arrival of all specified finish materials, equipment, light fixtures and any other such materials to be utilized on this project. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING WITHIN 10 DAYS OF THE DATE OF CONTRACT OF THOSE SPECIFIED ITEMS THAT MAY NOT BE READILY AVAILABLE AND OF EQUAL QUALITY AND DESCRIPTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE timely arrival of all specified finish materials, equipment, light fixtures and any other such materials to be utilized on this project. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING WITHIN 10 DAYS OF THE DATE OF CONTRACT OF THOSE SPECIFIED ITEMS THAT MAY NOT BE READILY AVAILABLE AND OF EQUAL QUALITY AND DESCRIPTION.

SEPARATE PERMITS ARE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLERS, SIGNS AND GARDING. TOILET ROOMS SHALL BE PROVIDED WITH MECHANICALLY OPERATED EXHAUST SYSTEMS CAPABLE OF PROVIDING A COMPLETE CHANGE OF AIR EVERY 15 MINUTES. SUCH EXHAUST SYSTEMS SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE, AT LEAST 3' FROM ANY OPENING.

**DRAWING INDEX**

A-1	SITE PLAN, NOTES & LOCATION MAP
A-2	DEMOLITION PLAN & NOTES
A-3	FLOOR PLAN & NOTES
A-4	REFLECTED CEILING PLAN & NOTES
A-5	ENLARGED RESTROOM, KITCHEN & BACK RAMP PLAN
A-6	ENLARGED FRONT RAMP & DETAILS
A-7	INTERIOR ELEVATIONS & DETAILS
M1	HVAC PLAN & NOTES
M2	MECHANICAL DETAILS
M3	MECHANICAL DETAILS & NOTES
E1	LIGHTING PLAN
E2	POWER PLAN
E3	ELECTRICAL SCHEDULES, RISER DIAGRAM & NOTES
P1	PLUMBING PLAN & NOTES
P2	PLUMBING DETAILS, RISER DIAGRAMS & NOTES

**LEGEND**

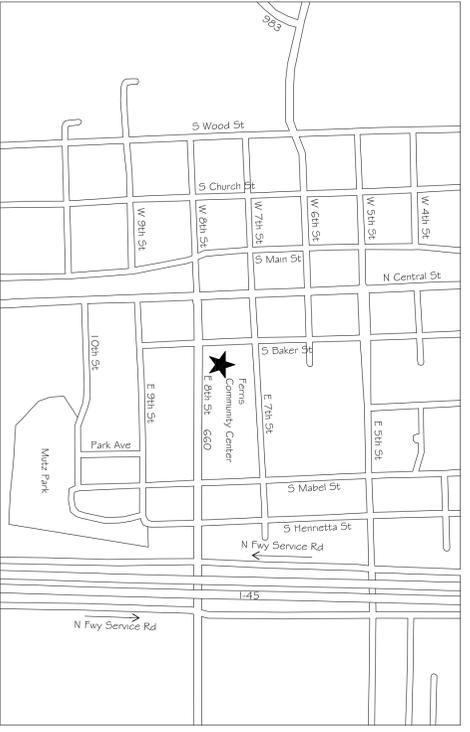


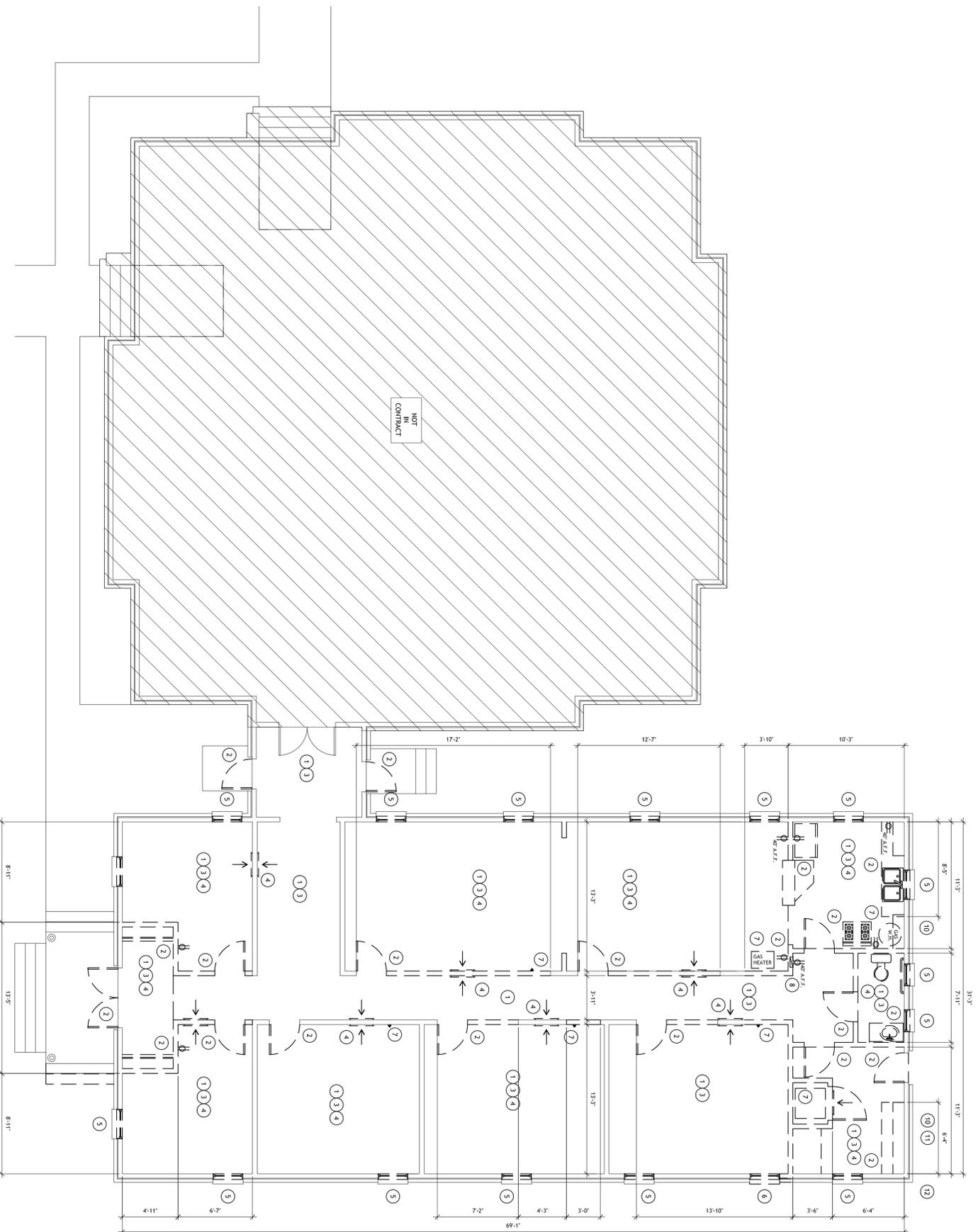
**APPLICABLE CODES**

- 2012 INTERNATIONAL BUILDING CODE WITH AMENDMENTS
- 2012 INTERNATIONAL PLUMBING CODE WITH AMENDMENTS
- 2012 INTERNATIONAL MECHANICAL CODE WITH AMENDMENTS
- 2014 NATIONAL ELECTRIC CODE WITH AMENDMENTS
- 2009 INTERNATIONAL ENERGY CONSERVATION CODE WITH AMENDMENTS
- 2012 GREEN CONSTRUCTION CODE WITH AMENDMENTS
- 2012 TEXAS ACCESSIBILITY STANDARDS

**CODE ITEMS**

BUILDING OCCUPANCY - A-3  
TYPE OF CONSTRUCTION - II-B (NON-SPRINKLED)  
FIRE EXTINGUISHERS - PROVIDE (3) ABC FIRE EXTINGUISHERS  
BASE WIND SPEED (3 SECOND GUST WIND SPEED) - SEE RISK CATEGORIES / FIGURES 1609 A (15 mph) & (180) & (199) - SNOW 5 psf  
SNOW 5 psf





**1** DEMOLITION PLAN  
SCALE: 3/16" = 1'-0"

**LEGEND**

- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- AREA NOT IN CONTRACT
- KEYED DEMOLITION NOTE

**GENERAL DEMOLITION NOTES**

1. ASBESTOS ABATEMENT IS THE RESPONSIBILITY OF THE BUILDING OWNER. ALL ABATEMENT WORK SHALL BE COMPLETE PRIOR TO THE G.C. STARTING WORK.
2. PRIOR TO BEGINNING WORK THE G.C. TO MAKE ALL UTILITIES SAFE FOR DEMOLITION. COORDINATE WITH LANDLORD.
3. REMOVE ALL MATERIALS SHOWN AS A DASHED LINE PER DEMOLITION PLAN.
4. COORDINATE DEMOLITION w/ REQUIREMENTS SHOWN ON FLOOR PLAN AND REFLECTED CEILING PLAN.
5. PROVIDE BARRICADES AS REQUIRED DURING THE DEMOLITION.
6. REMOVE ALL DEMOED MATERIALS FROM SITE PROMPTLY AND LEGALLY.
7. G.C. TO BRACE BUILDING STRUCTURE AS REQUIRED DURING DEMOLITION.

**KEYED DEMOLITION NOTES**

- ① REMOVE FINISH FLOOR MATERIAL & ANY DAMAGED PSUB-FLOOR.
- ② REMOVE WALLS, COUNTERTOPS, CABINETS, DOORS, DOOR FRAMES & FINISHES. PATCH / REPAIR WALLS THAT ARE TO REMAIN.
- ③ REMOVE CEILING, CEILING GRID & LIGHTS. RETURN LIGHTS TO LANDLORD.
- ④ REMOVE SUPPLY AND RETURN AIR VENTS & DUCT WORK.
- ⑤ REMOVE WINDOWS. PROVIDE WEATHER PROTECTION AND/OR COORDINATE REMOVAL WITH INSTALLATION OF NEW WINDOWS WHEN THEY ARE ON SITE.
- ⑥ REMOVE WINDOW & BRICK BELOW AS REQUIRED FOR NEW DOOR. PROVIDE WEATHER PROTECTION AND/OR COORDINATE REMOVAL WITH INSTALLATION OF NEW DOOR WHEN IT IS ON SITE.
- ⑦ REMOVE GAS LINES BACK TO WHERE IT COMES INTO BUILDING. REQUIRE PER THE FURNACE & GAS SERVICES.
- ⑧ REMOVE ELECTRICAL PANEL & WIRING. REFER TO THE FLOOR PLAN & MEP DRAWINGS FOR NEW LOCATION OF PANEL & NEW CIRCUITS.
- ⑨ REMOVE ROOF & ANY DAMAGED ROOF DECK.
- ⑩ REMOVE ALL TREES ADJACENT TO THE BUILDING.
- ⑪ REMOVE EXISTING HVAC CONDENSER UNIT & CONCRETE PAD.
- ⑫ REMOVE EXISTING WOOD FENCE.

© Steven L Wilson, Architect, LLC 2016

**Ferris Community Center**

211 8th Street  
Ferris, Texas

Steven L. Wilson, Architect, LLC  
9320 Fennelle Road  
Dallas, Texas 75238  
214.315.4113

EXP. 2-28-17

JOB NO. 15-120Z

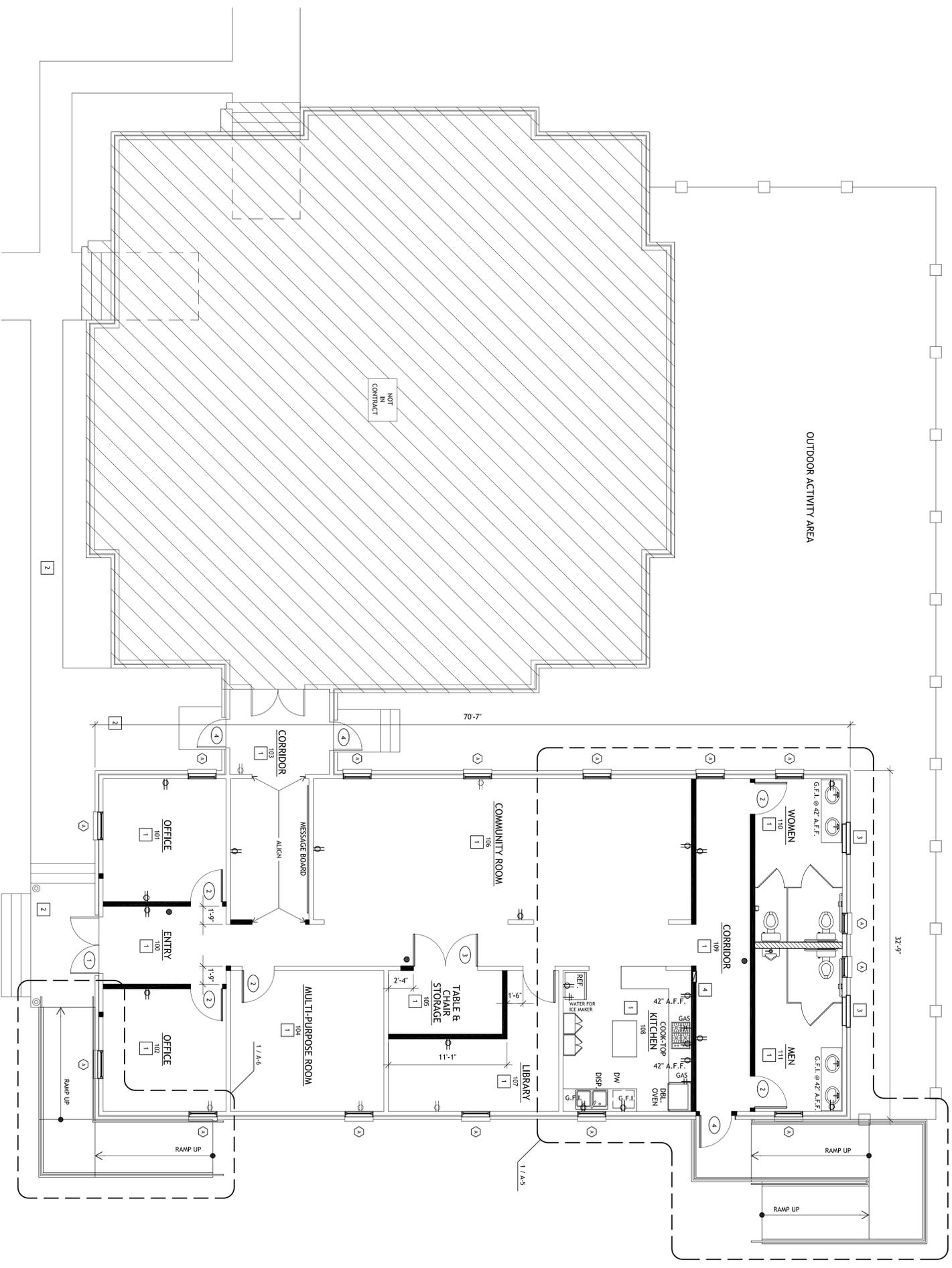
DATE 5-17-16

REVISION 6-7-16

DRAWN BY SLW

**A-2**

2 OF SEVEN



**1 FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

**LEGEND**

- EXISTING TO REMAIN, PATCH / REPAIR AS REQUIRED.
- NEW WALL. PROVIDE 5/8" TYPE "X" GYP. BD. EACH SIDE OF 3 1/2" FRAMING TO UNDERSIDE OF CEILING. FIRE TAPE, RED, SAND SMOOTH & PAINT.
- NEW WALL. PROVIDE 5/8" TYPE "X" GYP. BD. EACH SIDE OF 5 1/2" FRAMING TO UNDERSIDE OF CEILING. FIRE TAPE, RED, SAND SMOOTH & PAINT.
- DUPLEX OUTLET @ 18" A.F.F. UNLESS OTHERWISE NOTED.
- PHONE JACKS @ 48" A.F.F. UNLESS NOTED OTHERWISE.
- FIRE EXTINGUISHER & CABINET RECESSED INTO WALL @ 42" A.F.F.
- NOT IN CONTRACT
- KEYED CONSTRUCTION NOTE

**GENERAL CONSTRUCTION NOTES**

1. GENERAL CONTRACTOR TO FIELD VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION.
2. ALL CONSTRUCTION TO MEET OR EXCEED ALL FEDERAL, STATE, & LOCAL CODES & ORDINANCES.
3. ALL STRUCTURAL MODIFICATIONS TO BUILDING TO BE REVIEWED & DESIGNED BY A LICENSED STRUCTURAL ENGINEER.
4. NEW GYP. BD. TO HAVE A SMOOTH PAINT FINISH. PAINT COLOR AS SELECTED BY OWNER.
5. PROVIDE TAPERED WATER AT PUBLIC ACCESS LANS.
6. PROVIDE NEW ELECTRICAL WIRING IN CONDUIT THROUGHOUT THE BUILDING.
7. VERIFY THAT EXTERIOR WALLS HAVE FULL THICK BATT INSULATION. PROVIDE ADDITIONAL OR NEW TO CREATE AN R-13 ASSEMBLY.
8. PROVIDE NEW 20 YEAR GOM SHINGLE ROOF W/ INSULATION ASSEMBLY OF R-23 OR GREATER.
9. ALL FOUNDATION RELATED REPAIR WORK AND LIFTING OF THE BUILDING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
10. REFER TO MEP DRAWINGS FOR LIGHTING, POWER, GAS & PLUMBING REQUIREMENTS.
11. GENERAL CONTRACTOR SHALL REPAIR ALL DAMAGED BRICK MORTAR JOINTS AS REQUIRED.

**KEYED CONSTRUCTION NOTES**

- 1 REFER TO ROOM FINISH SCHEDULE, SHEET A.5, FOR FINISHES AND MATERIALS.
- 2 EXISTING STAIRS, LANDING AND WALK TO REMAIN. PATCH / REPAIR AS REQUIRED.
- 3 INFILL EXISTING DOOR OPENING. PROVIDE 5/8" TYPE "X" GYP. BD. INTERIOR SIDE AND VAPOR BARRIER OVER 1/2" SHEATHING EXTERIOR SIDE OF 3 1/2" FRAMING. PROVIDE FACE BRICK TO MATCH EXISTING AS REQUIRED. FIRE TAPE, SAND SMOOTH, AND PAINT GYP. BD.
- 4 NEW ELECTRICAL PANEL @ 48" A.F.F.

**DOOR AND OPENING SCHEDULE**

- 1 NEW PAIR 3'-0" x 6'-8" WOOD DOORS IN WOOD FRAME. "ANDERSON" ENTRY DOORS OR EQUAL. PROVIDE PUSH / PULL AND DEAD BOLT LOCK SET.
  - 2 NEW 3'-0" x 6'-8" S.C. WOOD DOOR IN WOOD FRAME W/ PASSAGE LOCK SET.
  - 3 NEW PAIR 3'-0" x 6'-8" S.C. WOOD DOORS IN WOOD FRAME. PROVIDE LEVER PASSAGE HARDWARE.
  - 4 NEW 3'-0" x 6'-8" S.C. WOOD DOORS IN WOOD FRAME. "ANDERSON" ENTRY DOORS OR EQUAL. PROVIDE LEVER PASSAGE HARDWARE.
- NOTE:  
ALL DOOR HARDWARE TO BE IN COMPLIANCE WITH ADA AND THE TEXAS ACCESSIBILITY STANDARDS. PROVIDE EMERGENCY DOOR OPENING DEVICES ON ALL EXIT DOORS AS REQUIRED.

**WINDOW SCHEDULE**

- 1 NEW "ANDERSON" EXISTING DESIGN. "ANDERSON" 400 SERIES OR EQUAL. PROVIDE SHIM AND TRIM AS REQUIRED.



**Ferris Community Center**

211 8th Street  
Ferris, Texas

Steven L. Wilson, Architect, LLC  
9320 Fennelle Road  
Dallas, Texas 75228  
214.315.4113

EXP. 2-28-17

JOB NO. 15-1202

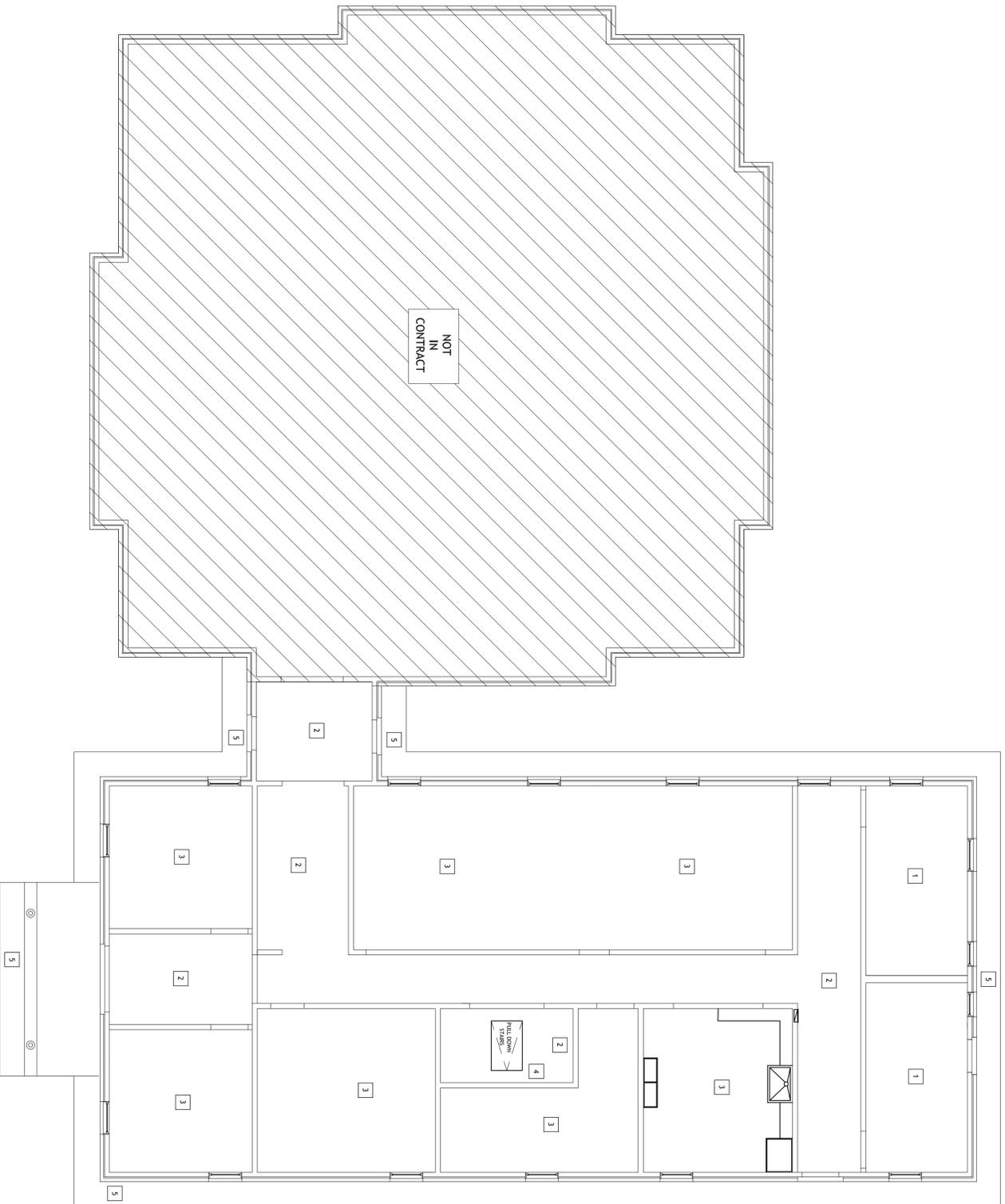
DATE 5-17-16

REVISION 6-7-16

DRAWN BY slw

**A-3**

3 OF SEVEN



**1 REFLECTED CEILING PLAN**  
SCALE: 3/16" = 1'-0"

**LEGEND**

-  NOT IN CONTRACT
-  KEYED CONSTRUCTION NOTE

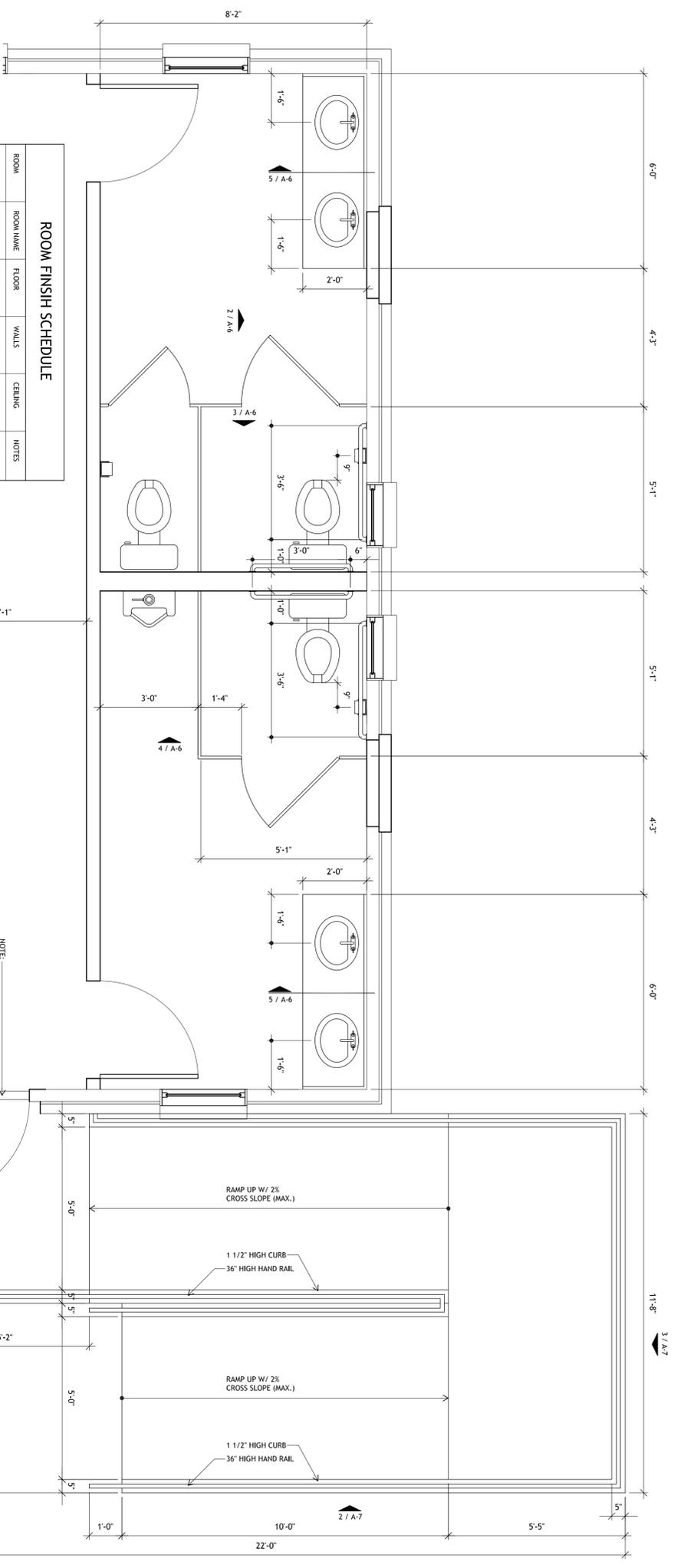
**GENERAL CONSTRUCTION NOTES**

1. GENERAL CONTRACTOR TO FIELD VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION.
2. ALL CONSTRUCTION TO MEET OR EXCEED ALL FEDERAL, STATE, & LOCAL CODES & ORDINANCES.
3. ALL STRUCTURAL MODIFICATIONS TO BUILDING TO BE REVIEWED & DESIGNED BY A LICENSED STRUCTURAL ENGINEER.
4. PROVIDE NEW ELECTRICAL WIRING, IN CONJUNCTION, THROUGH OUT THE BUILDING.
5. REFER TO MEP DRAWINGS FOR LIGHTING & HVAC REQUIREMENTS.

**KEYED CONSTRUCTION NOTES**

- 1** NEW 5/8" TYPE "X" GYP. BD. @ 8'-0" A.F.F. FINE FINE, RED, SAND SMOOTH AND PAINT, WHITE
- 2** NEW 5/8" TYPE "X" GYP. BD. @ EXISTING JOIST FRAMING HEIGHT. FINE FINE, RED, SAND SMOOTH AND PAINT, WHITE.
- 3** NEW 5/8" TYPE "X" GYP. BD. @ 8'-6" A.F.F. FINE FINE, RED, SAND SMOOTH AND PAINT, WHITE.
- 4** NEW GROSS FLOW AIR HANDLING UNIT TO BE INSTALLED ON 3/4" FIRE RESISTANT PLYWOOD IN ATTIC SPACE NEAR HULL DOWN STAIR. VERIFY THAT STRUCTURE IS ADEQUATE TO HANDLE THE WEIGHT OF UNIT & FURNISH. MODIFY AS REQUIRED.
- 5** PATCH / REPAIR EXISTING SPFFT AND TRIM. CAULK AND PAINT WHITE.

		<p><b>Ferris Community Center</b></p> <p>211 8th Street Ferris, Texas</p>	
		<p>Steven L. Wilson, Architect, LLC 9320 Fennelle Road Dallas, Texas 75238 214.315.4113</p>	
EXP. NO.	15-1202	DATE	5-17-16
REVISION	6-7-16	DRAWN BY	SLW
<p><b>A-4</b></p>		<p>4 OF SEVEN</p>	



**ROOM FINISH SCHEDULE**

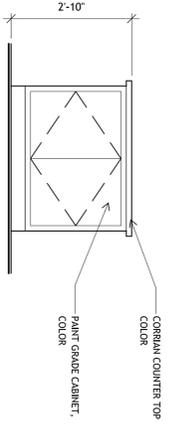
ROOM	ROOM NAME	FLOOR	WALLS	CEILING	NOTES
100	ENTRY	TILE	GYP. BD.	GYP. BD.	1, 2
101	OFFICE	CARPET	GYP. BD.	GYP. BD.	1
102	OFFICE	CARPET	GYP. BD.	GYP. BD.	1
103	CORRIDOR	WOOD	GYP. BD.	GYP. BD.	1
104	MULTI-PURPOSE	WOOD	GYP. BD.	GYP. BD.	1
105	STORAGE	V.C.T.	GYP. BD.	GYP. BD.	1
106	COMMUNITY	WOOD	GYP. BD.	GYP. BD.	1
107	LIBRARY	CARPET	GYP. BD.	GYP. BD.	1
107	LIBRARY	CARPET	GYP. BD.	GYP. BD.	1
109	KITCHEN	TILE	GYP. BD.	GYP. BD.	1
110	WOMEN	TILE	GYP. BD.	GYP. BD.	1, 2
111	MEN	TILE	GYP. BD.	GYP. BD.	1, 2

- NOTES:  
 1. FBE TYPE, BEB, SAND SMOOTH & PAINT GYP. BD. COLOR, SHERWIN-WILLIAMS, SEMI-GLOSS, WHITE.  
 2. TILE AS SELECTED BY OWNER.

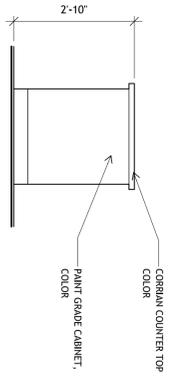
**EQUIPMENT SCHEDULE**

NUMBER	DESCRIPTION (OR AS SELECTED BY OWNER)
A	COOK TOP, "SEV-ARK", 36" (6) BURNERS, MODEL #FCC2838S
B	EXHAUST HOOD, "BH-4R", LOW PROFILE UNDER CABINET, 36" MODEL #XUV939AWD
C	DOUBLE OVEN, "THERMADOR", 30" PROFESSIONAL SERIES, MODEL #PODC30J
D	DISH WASHER, "FRIGIDAIRE", GALLERY 24" BUILT-IN, MODEL #FRD2466GF
E	SINK, "OROSSER", DOUBLE SINK, MODEL #SQZ2005-0V
F	FAUCET, "DELTA", ESSA, SINGLE HANDLE FULL DOWN, MODEL #9113-05T
G	DISPOSAL, "INSINKERATOR", EVOLUTION EXCEL, 1.0 HP
H	REFRIGERATOR, "KENMORE", MODEL #A115Z

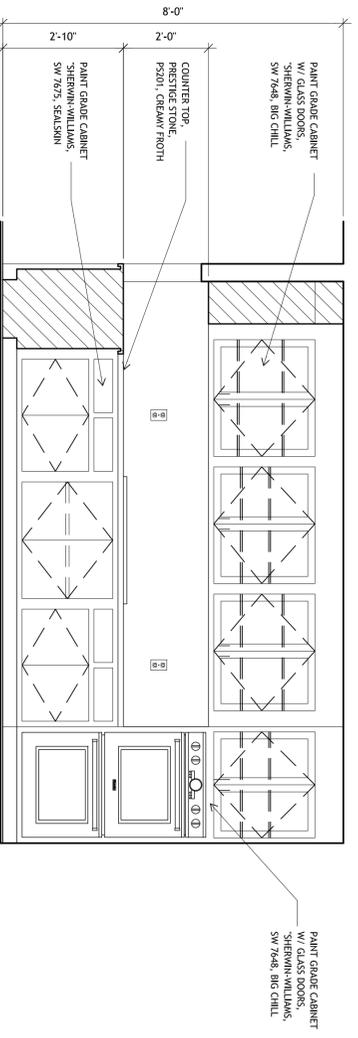
**1 PLAN**  
SCALE: 1/2" = 1'-0"



**2 ELEVATION**  
SCALE: 1/2" = 1'-0"



**3 ELEVATION**  
SCALE: 1/2" = 1'-0"



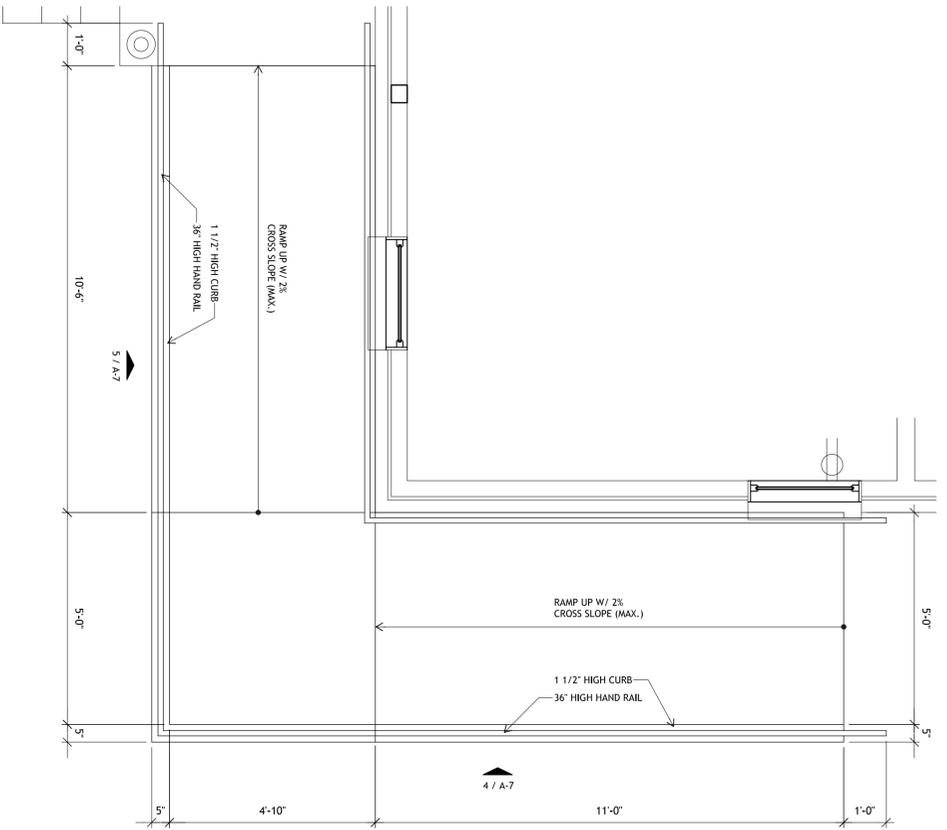
**4 ELEVATION**  
SCALE: 1/2" = 1'-0"

**Ferris Community Center**  
 211 8th Street  
 Ferris, Texas

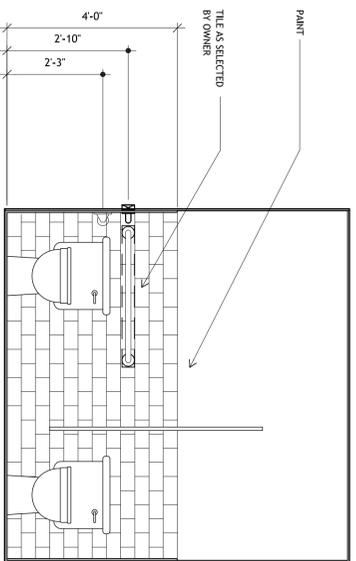
Steven L. Wilson, Architect, LLC  
 9320 Fennelle Road  
 Dallas, Texas 75238  
 214. 315. 4113

EXP. 2-28-17  
 JOB NO. 15-120Z  
 DATE 5-17-16  
 REVISION 6-7-16  
 DRAWN BY SLW

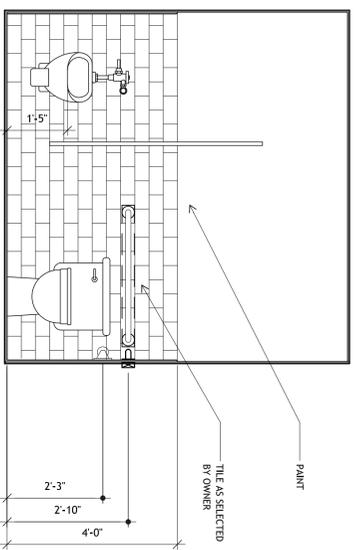
**A-5**  
5 OF SEVEN



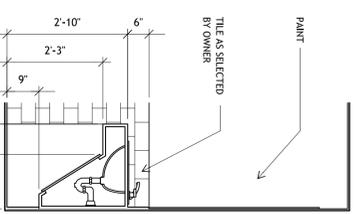
1 RAMP PLAN  
SCALE: 1/2" = 1'-0"



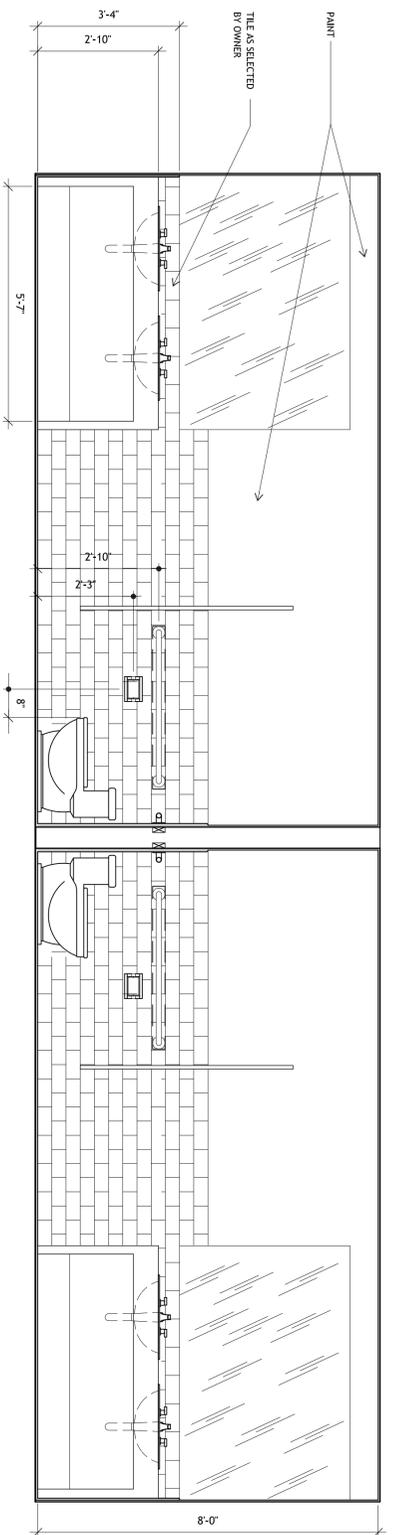
3 ELEVATION  
SCALE: 1/2" = 1'-0"



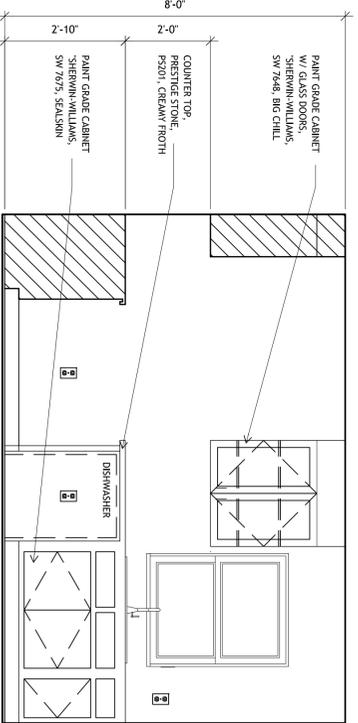
4 ELEVATION  
SCALE: 1/2" = 1'-0"



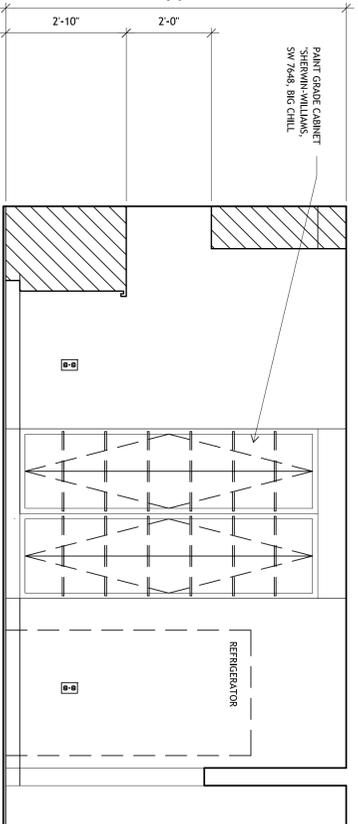
5 ELEVATION  
SCALE: 1/2" = 1'-0"



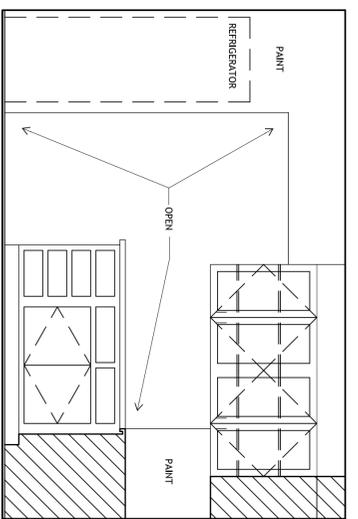
2 ELEVATION  
SCALE: 1/2" = 1'-0"



6 ELEVATION  
SCALE: 1/2" = 1'-0"



7 ELEVATION  
SCALE: 1/2" = 1'-0"



8 ELEVATION  
SCALE: 1/2" = 1'-0"

Steven L. Wilson, Architect, LLC  
9320 Fennelle Road  
Dallas, Texas 75238  
214.315.4113

**Ferris Community Center**  
211 8th Street  
Ferris, Texas

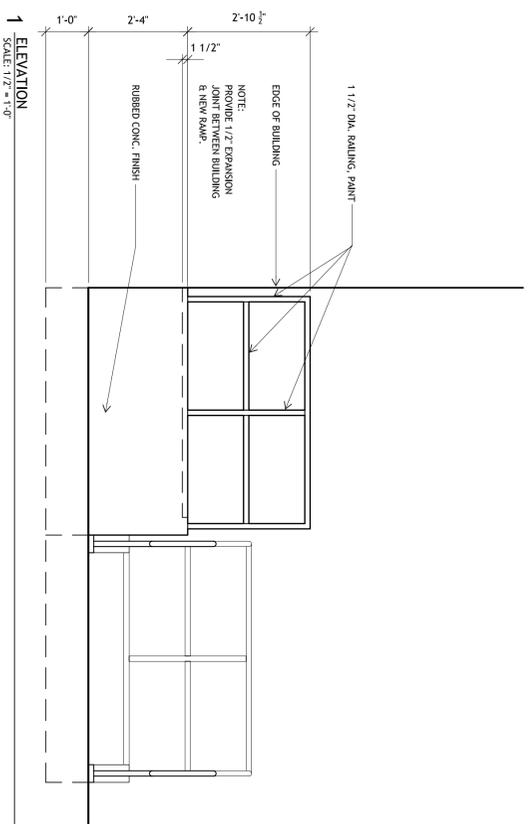
EXP. 2-28-17  
JOB NO. 15-1202  
DATE 5-17-16  
REVISION 6-7-16

DRAWN BY SLW

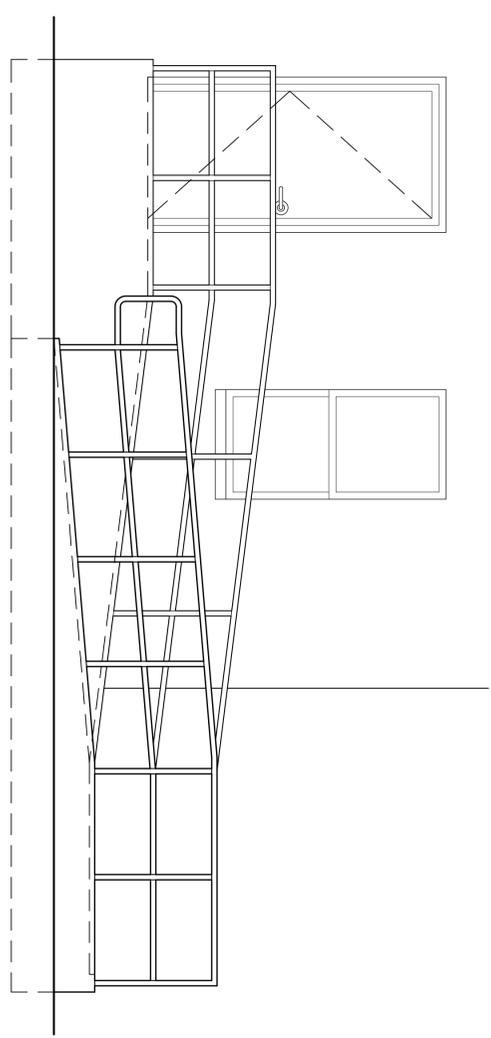
REGISTERED ARCHITECT  
STATE OF TEXAS

**A-6**

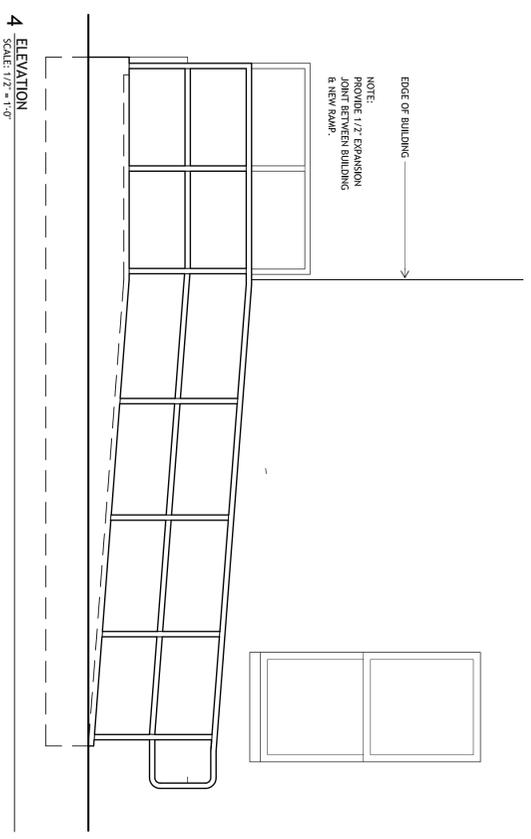
6 OF SEVEN



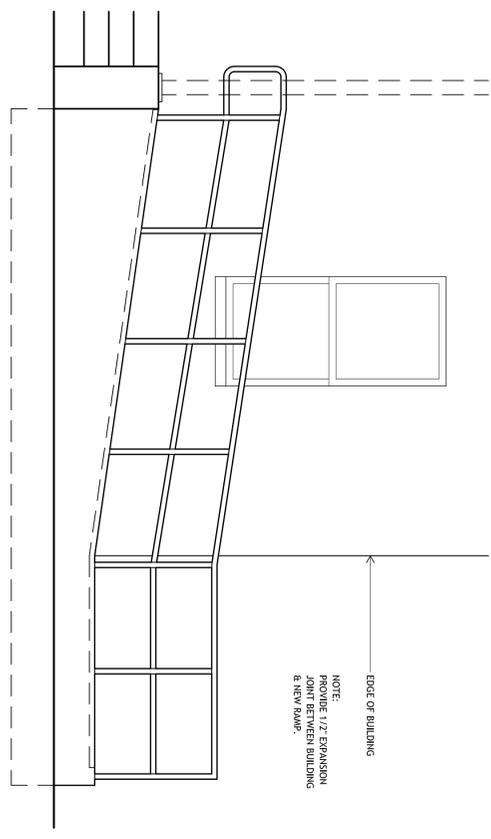
1 ELEVATION  
SCALE: 1/2" = 1'-0"



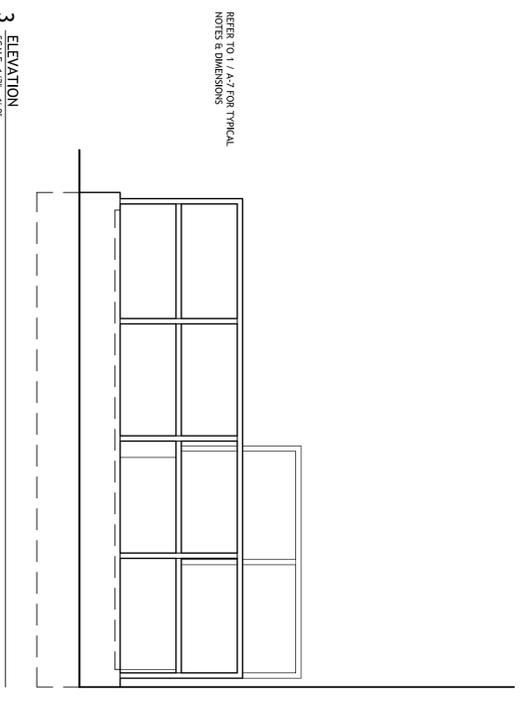
2 ELEVATION  
SCALE: 1/2" = 1'-0"



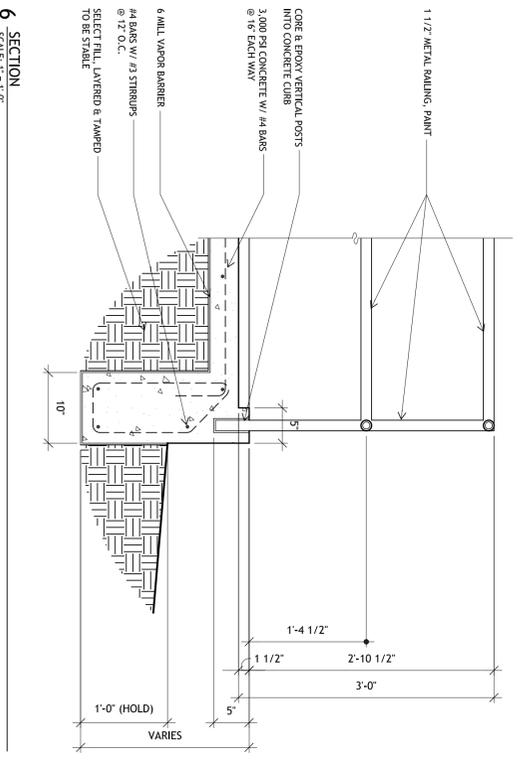
4 ELEVATION  
SCALE: 1/2" = 1'-0"



5 ELEVATION  
SCALE: 1/2" = 1'-0"



3 ELEVATION  
SCALE: 1/2" = 1'-0"



6 SECTION  
SCALE: 1" = 1'-0"

REFER TO 1 / A-7 FOR TYPICAL NOTES & DIMENSIONS

EXP.	2-28-17
JOB NO.	15-1202
DATE	5-17-16
REVISION	6-7-16
DRAWN BY	slw



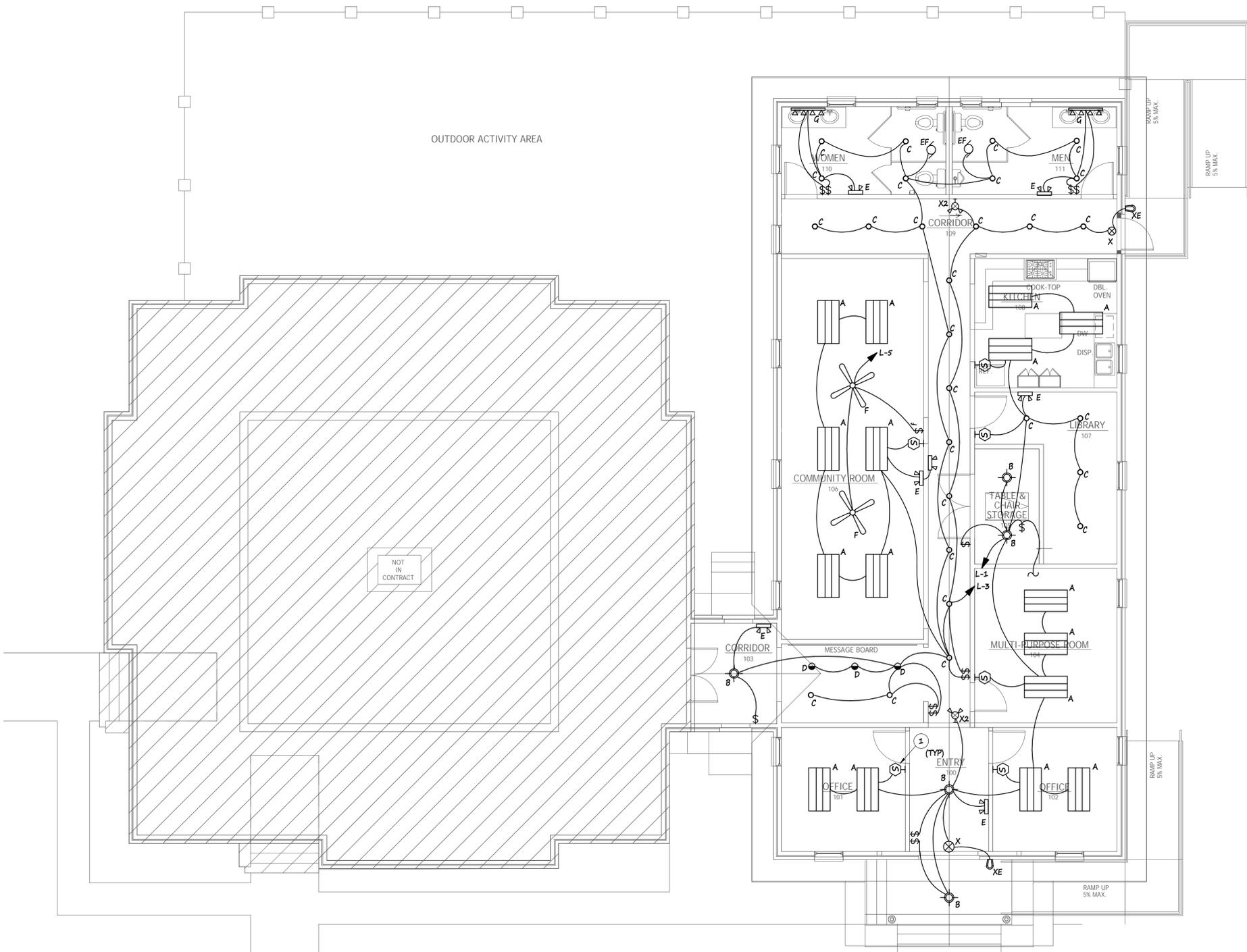
Steven L. Wilson, Architect, LLC  
9320 Fennelle Road  
Dallas, Texas 75238  
214.315.4113

# Ferris Community Center

211 8th Street  
Ferris, Texas

1 2 3 4 5 6 7 8

A B C D E F



**GENERAL NOTES**

1. VERIFY WITH OWNER AND/OR ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND MOUNTING HEIGHTS OF ALL LIGHT FIXTURES AND SWITCHES. LIGHTING DESIGN BASED ON 2004 I.E.C.C. REQUIREMENTS FOR 50% LIGHT REDUCTION AND AUTOMATIC TURN OFF FOR BUILDINGS LARGER THAN 5,000 SQUARE FEET.
2. COORDINATE WORK IN FIELD WITH OTHER DISCIPLINES PRIOR TO START. LIGHTING TAKES PRIORITY OVER OTHER DISCIPLINES.
3. CONTRACTOR SHALL FAMILIARIZE SELF WITH PROJECT AT SITE PRIOR TO BIDDING INCLUDING ALL BUILDING STANDARDS OF OPERATION.
4. LIGHT FIXTURES WITH 'NL' DENOTATION SHALL BE WIRED AHEAD OF SWITCH FOR NIGHT LIGHT OPERATION. VERIFY LOCATIONS IN FIELD.
5. HOMERUNS SHOWN U.N.D. SHALL BE MINIMUM OF #12 AWG COPPER, INCLUDING GROUND. CONTRACTOR SHALL TAKE INTO ACCOUNT DISTANCE TO PANEL AND ADJUST WIRE AND CONDUIT SIZE FOR VOLTAGE DROP IF NEEDED.
6. ALL FLUORESCENT LIGHTING BALLAST SHALL HAVE BALLAST DISCONNECTING MEANS PER N.E.C. 2011 410.130 (G)
7. TOTAL LIGHT FIXTURE LAMP WATTAGES SPECIFIED COINCIDE WITH THE WATTAGES INDICATED ON THE ENERGY CODE REQUIREMENTS FORM. CONTRACTOR CAN PROVIDE LIGHT FIXTURES EQUAL TO THE MODEL NUMBERS SHOWN BUT SHALL NOT DEVIATE FROM LIGHT FIXTURES WATTAGES SPECIFIED.

1 FIRST FLOOR PLAN - LIGHTING  
 E1 3/16" = 1'-0"

1 2 3 4 5 6 7 8

**MAXFIELD CONSULTING**  
 3809 PLYMOUTH DRIVE  
 PLANO, TX 75023  
 254-226-6168  
 TEXAS REGISTERED ENGINEERING FIRM F-16705

**Ferris Community Center**  
 211 8th Street  
 Ferris, Texas

THESE DRAWINGS AND COPIES ARE THE COPYRIGHTED PROPERTY OF THE ENGINEER. THEY MAY NOT BE USED FOR PROJECTS OTHER THAN THE DESIGNATED PROJECT WITHOUT THE SPECIFIC WRITTEN APPROVAL OF THE ENGINEER

Checked By: TM

Revisions:

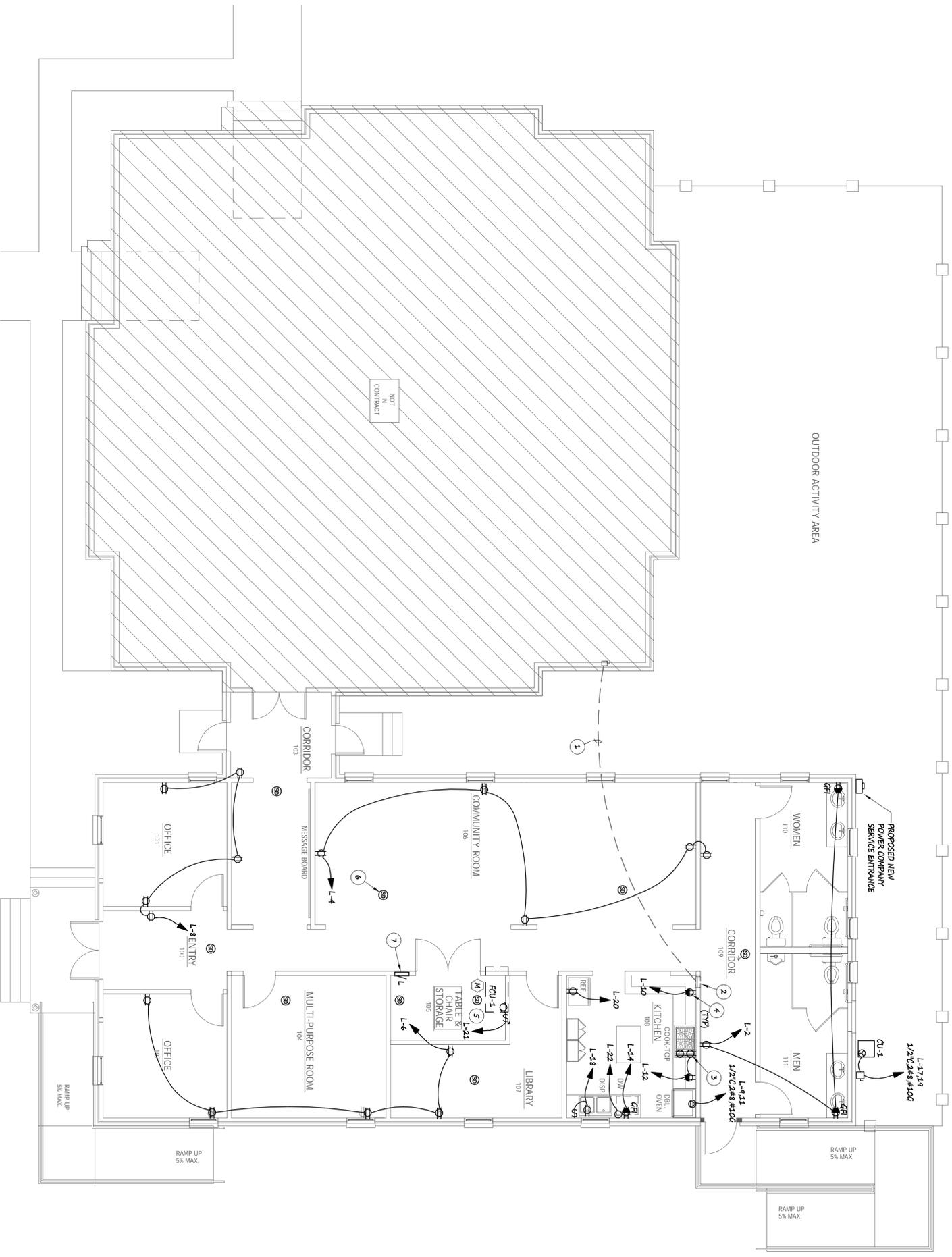
1.	
2.	
3.	
4.	
5.	



Date: 05-13-16

SHEET NO.:

**E1**



**DEMOLITION NOTES:**

1. ALL EXISTING GENERAL PURPOSE RECEPTACLES, A/C SERVICE POWER AND WATER HEATER POWER, ETC. ARE TO BE REMOVED. REMOVE ALL CIRCUITRY, INCLUDING WIRE AND CONDUIT, WHERE APPLICABLE, BACK TO PANEL OF ORIGIN.
2. EXISTING PANEL 'U' IS TO BE REMOVED. EXISTING PANEL 'V' SERVICE CONDUCTORS SHALL BE REMOVED. NEW PANEL 'L' AND SERVICE CONDUCTORS SHALL BE PROVIDED. SEE FLOOR PLAN FOR PANEL 'L' AND SERVICE CONDUCTORS. VERIFY LOCATION OF NEW SERVICE ENTRANCE AND NEW PANEL 'L'.

**KEYED NOTES:**

1. REMOVE EXISTING EXTERIOR OVERHEAD SERVICE CONDUCTORS FROM EXISTING RASED DISCONNECT LOCATED IN ADJACENT BUILDING.
2. EXISTING 125 AMP PANEL TO BE REMOVED. REMOVE ALL CIRCUITRY WHERE APPLICABLE.
3. REMOVE OUTLET UNDER GAS COOKTOP FOR COOKTOP ELECTRIC STRIKE. PROVIDE OUTLET FOR VENT 4'-0"OD ABOVE. VERIFY HEIGHT IN FIELD.
4. HATCHED RECEPTACLE DENOTES RECEPTACLE MOUNTED AT COUNTER TOP HEIGHT.
5. FCU-1 GAS FURNACE LOCATED ABOVE CEILING. PROVIDE LINE VOLTAGE SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR IN VICINITY OF UNIT. BOTH SHALL HAVE AUDIBLE NOTIFICATION IN CASE OF DETECTION. VERIFY LOCATION.
6. PROVIDE LINE VOLTAGE SMOKE DETECTOR WITH AUDIBLE NOTIFICATION IN CASE OF DETECTION. VERIFY AMOUNT REQUIRED BY LOCAL FIRE MARSHAL AND LOCATIONS IN FIELD.
7. NEW 150 AMP PANEL LOCATION. VERIFY IN FIELD.

1 FIRST FLOOR PLAN - POWER  
3/16" = 1'-0"



THESE DRAWINGS AND COPIES ARE THE COPYRIGHTED PROPERTY OF THE ENGINEER. THEY MAY NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE SPECIFIC WRITTEN APPROVAL OF THE ENGINEER.

Checked By: TM

Revisions:

1.	
2.	
3.	
4.	
5.	



**AIR CONDITIONING EQUIPMENT NOTES:**

THE AIR CONDITIONING UNIT SHALL BE FRIGIDAIRE SPLIT SYSTEM OR APPROVED EQUAL. UNITS SHALL BE 5 TON CONDENSING UNIT # FS4BF060KA; 14 SEER; 240 VOLT; 1 PHASE WITH HORIZONTAL FLOW 120,000 BTUH GAS FURNACE # F47TA-120-VC (VARIABLE SPEED); 80+ AFUE AND COOLING COIL #C6BH-X-60CC. PROVIDE ALL NECESSARY APPURTENANCES FOR A COMPLETE SYSTEM INSTALLATION AND OPERATION.

THE CONDENSING UNITS SHALL BE SET CONCRETE PAD. VERIFY LOCATION IN FIELD. UNIT SHALL BE EQUIPPED WITH CONDENSER COIL HAIL PROOF SCREENS. UNIT SHALL BE ENCLOSED WITH-IN SECURITY FENCING. VERIFY.

EACH SYSTEM BE CONTROLLED BY A WALL MOUNTED PROGRAMMABLE THERMOSTAT. SYSTEM SHALL HAVE TWO (2) STAGE HEATING AND ONE (1) STAGE COOLING.

UNIT SHALL HAVE A FIVE MINUTE COMPRESSOR LOCKOUT TIMER AND A FIRE/SMOKE DETECTOR THAT WILL TURN THE UNIT OFF IN CASE OF FIRE AND/OR SMOKE.

**PIPING NOTES:**

THE REFRIGERANT PIPING SHALL BE SIZED AND INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS.

THE CONDENSATE PIPING RUN THRU THE OUTSIDE WALL AND EMPTY ON THE GROUND AND SHALL BE A MINIMUM OF 3/4" PVC PIPE. VERIFY WITH LOCAL CITY CODE.

THE FAN COIL UNIT SHALL HAVE A SAFETY DRIP PAN UNDER EACH UNIT WITH A MINIMUM OF 3/4" PVC PIPE GOING TO THE OUTSIDE.

**RESTROOM EXHAUST FANS NOTES:**

EXHAUST FANS SHALL BE SIMILAR AND EQUAL TO BROAN MODEL 659 WITH HEATER AND LIGHT. THEY SHALL HAVE A MINIMUM CAPACITY OF 85 CFM AT 0.25 SP.

EACH EXHAUST FAN SHALL BE CEILING MOUNTED AND SHALL BE VENTED THRU THE ROOF WITH A FLEXIBLE METAL DUCT AND TERMINATED IN A WEATHER PROOF MOUNTED CAP WITH A BIRD SCREEN AND BACK DRAFT DAMPER.

**REGISTERS AND GRILL NOTES:**

ALL SUPPLY DIFFUSERS SHALL BE SIMILAR AND EQUAL TO TITUS MODEL RSSB-V SERIES TWO (2) WAY DISCHARGE.

SECOND FLOOR RETURN AIR GRILLES SHALL HAVE FILTERED RETURN SIMILAR AND EQUAL TO WALL MOUNTED RSRB-H SERIES.

ALL REGISTERS SHALL BE SIZED AND BALANCED FOR THE AIR QUANTITIES SHOWN ON PLAN.

LOCATION OF THE REGISTERS AND GRILLS MAY VARY FROM THOSE SHOWN ON THE PLANS DUE TO CEILING PATTERNS, LIGHT FIXTURE LOCATIONS AND STRUCTURAL INTERFERENCE.

**DUCTS NOTES:**

SUPPLY PLENUMS SHALL BE MADE OF SHEET METAL AND INSULATED ON THE INSIDE WITH ONE INCH (1") FIBERGLASS DUCT LINER. SUPPLY DUCTS SHALL BE SHEET METAL AND INSULATED ON THE OUTSIDE WITH ONE AND ONE HALF INCH (1 1/2") THICK FIBER GLASS DUCT WRAP WITH ALL SEAMS SEALED. THE FINAL FOUR FEET (4') OF DUCT TO THE SUPPLY AND RETURN REGISTERS MAY BE FLEX DUCT; SEALED.

DUCT ROUTING MAY DIFFER DUE TO FIELD CONDITIONS. ADJUST FOR TRUSSES AND SUSPEND ALL DUCT WORK PER CODE.

**PERMIT NOTES:**

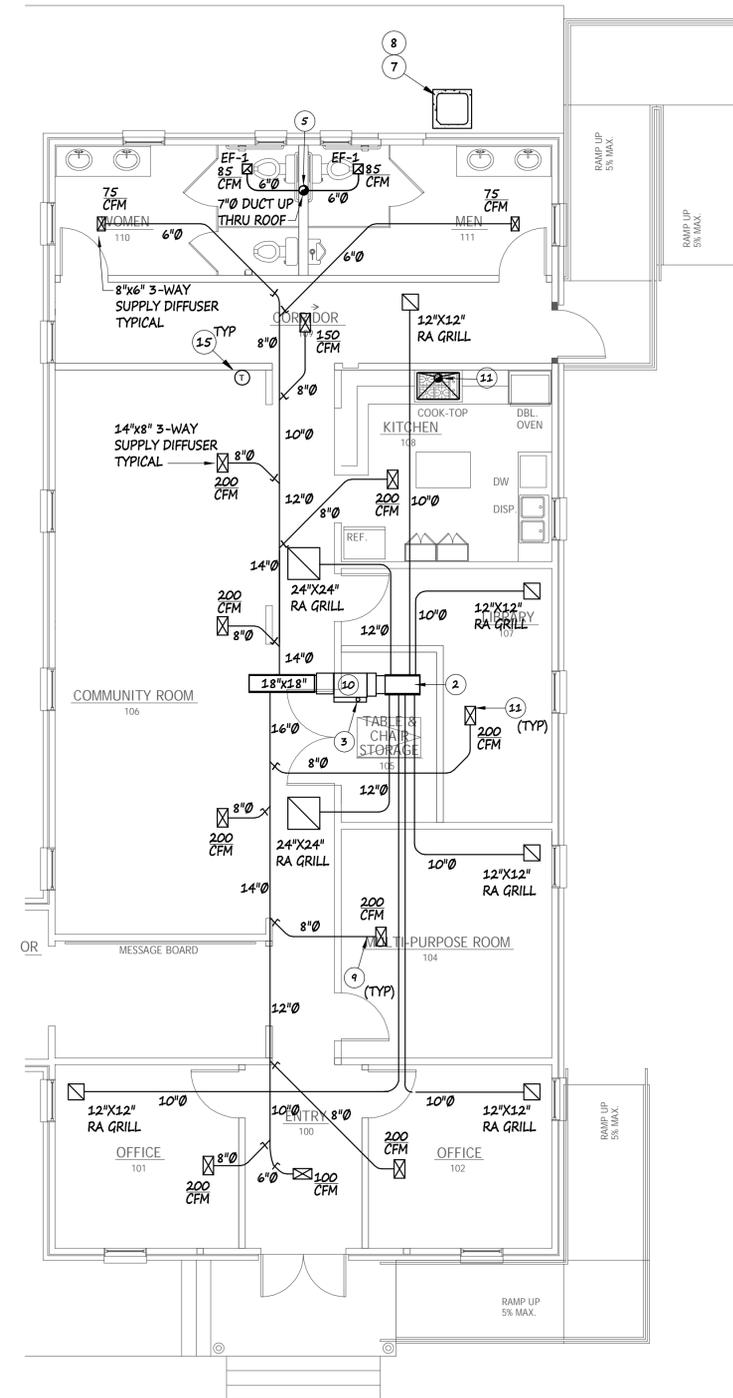
THE CONTRACTOR SHALL FURNISH ALL PERMITS REQUIRED BY THE STATE, CITY AND/OR COUNTY AND SHALL ABIDE BY ANY AND ALL STATE, CITY OR COUNTY REGULATIONS WHETHER OR NOT CALLED FOR IN THESE PLANS AND SPECIFICATIONS.

**GUARANTEE AND SERVICE NOTES:**

THE AIR CONDITIONING CONTRACTOR SHALL GUARANTEE ALL EQUIPMENT AND WORKMANSHIP INCLUDED IN THIS CONTRACT AGAINST ANY DEFECTS IN MATERIAL AND WORKMANSHIP AND SHALL SATISFACTORILY CORRECT, AT NO COST TO THE OWNER, ANY SUCH DEFECTS WITHIN A PERIOD OF ONE (1) YEAR AFTER COMPLETION OF INSTALLATION. IN ADDITION, EACH COMPRESSOR SHALL HAVE A MINIMUM OF A FIVE (5) YEAR FACTORY WARRANTY.

**NOTES BY "O" SYMBOL**

- PROVIDE GAS FURNACE AND COOLING COIL AS SCHEDULED. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. INSTALL WITH ROD HANGERS AND SPRING VIBRATION ISOLATORS SECURED TO THE ROOF JOISTS. PROVIDE ANGLE IRON BETWEEN JOISTS AS REQUIRED. PROVIDE A SECONDARY OVERFLOW DRAIN PAN WITH AN OVERFLOW SWITCH AND WIRE TO SHUT DOWN UNIT AND PROVIDE AN AUDIBLE/VISUAL ALARM ON CEILING BELOW. INSTALL INDOOR UNIT AS HIGH AS POSSIBLE WITHIN JOIST SPACE. MAINTAIN ACCESS CLEARANCES AS REQUIRED BY MANUFACTURER. REFER TO DETAIL 2/M-3. RUN 3/4" PVC CONDENSATE DRAIN LINE TO NEAREST LAVATORY P-TRAP (REF:3/M5).
- 18"X18" RETURN AIR PLENUM W/3" INTERNAL DUCT INSULATION.
- PROVIDE 4" TYPE L FLUE UP THRU ROOF TO BREIDERT CAP, EXTEND ABOVE ROOF TO HEIGHT REQUIRED BY CODE.
- RUN 7"Ø SHEETMETAL DUCT UP THRU ROOF AND PROVIDE ROOF CAP. OFFSET DUCT AS REQUIRED TO HIDE ROOF CAP BEHIND ROOF RIDGE LINE.
- PROVIDE MANUFACTURER'S PROGRAMMABLE THERMOSTAT. INSTALL ON WALL AT 48" A.F.F.
- PROVIDE CONDENSING UNIT AS SCHEDULED. INSTALL ON LIGHTWEIGHT CONCRETE PAD. VERIFY EXACT LOCATION WITH LANDLORD PRIOR TO INSTALLATION. SHIM AS REQUIRED TO LEVEL UNIT. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- PROVIDE INSULATED REFRIGERANT PIPING FROM INDOOR UNIT TO OUTDOOR UNIT. SIZE AND INSTALL PER MANUFACTURER'S RECOMMENDATIONS. ROUTE THRU JOIST SPACE AND STRAP TO THE BOTTOM OF ROOF RAFTERS. SEAL WALL PENETRATION.
- TYPICAL: PROVIDE INSULATED FLEXIBLE DUCT CONNECTION TO AIR DEVICE FULL SIZE OF DEVICE NECK SIZE. 6'-0" MAXIMUM LENGTH.
- PROVIDE GAS FURNACE AS SCHEDULED. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. INSTALL WITH ROD HANGERS AND SPRING VIBRATION ISOLATORS SECURED TO THE TOP CHORD OF THE ROOF JOISTS. PROVIDE ANGLE IRON BETWEEN JOISTS AS REQUIRED.
- PROVIDE KITCHEN VENT-A-HOOD WITH MINIMUM OF 600 CFM EXHAUST FAN OVER GAS STOVE TOP. RUN 6" DUCT UP THRU ROOF. PROVIDE ROOF CAP AND SEAL PENETRATION PER LOCAL CODE REQUIREMENTS.



1 FIRST FLOOR PLAN - HVAC  
M1 3/16" = 1'-0"

THESE DRAWINGS AND COPIES ARE THE COPYRIGHTED PROPERTY OF THE ENGINEER. THEY MAY NOT BE USED FOR PROJECTS OTHER THAN THE DESIGNATED PROJECT WITHOUT THE SPECIFIC WRITTEN APPROVAL OF THE ENGINEER

Checked By: TM

Revisions:

- 
- 
- 
- 
- 

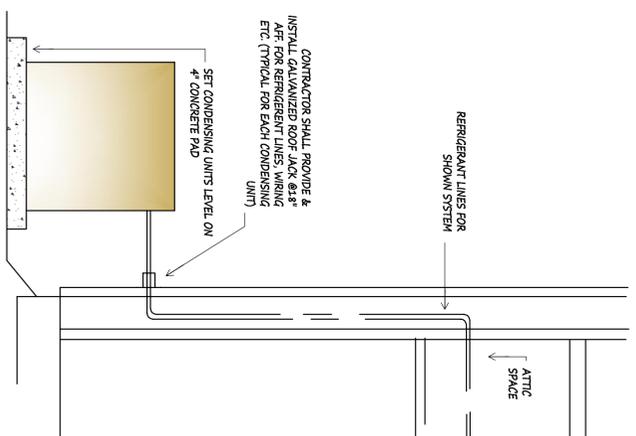


05-13-16

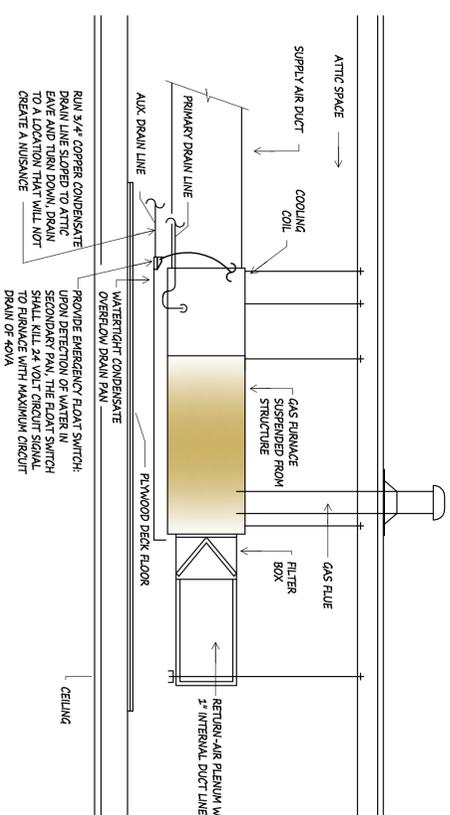
Date: 05-13-16

SHEET NO.:

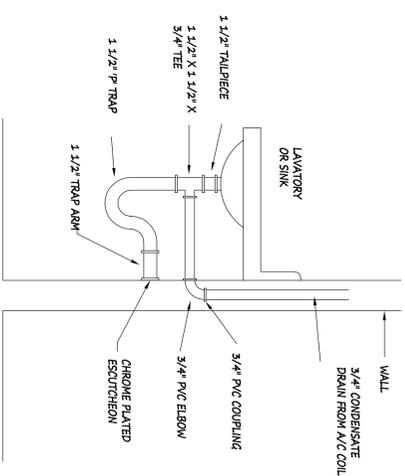
M1



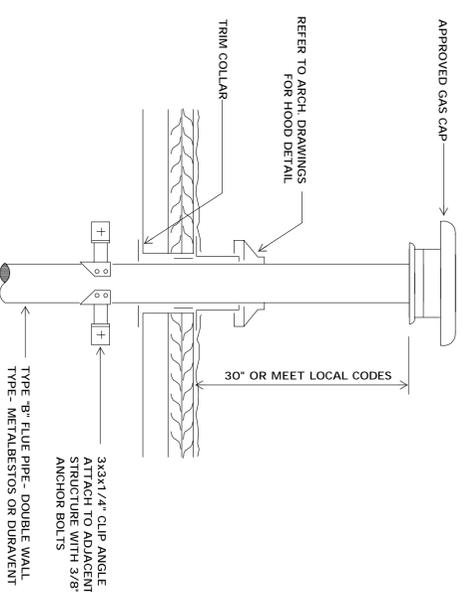
1 REFRIGERANT PIPING DETAIL  
NO SCALE  
M2



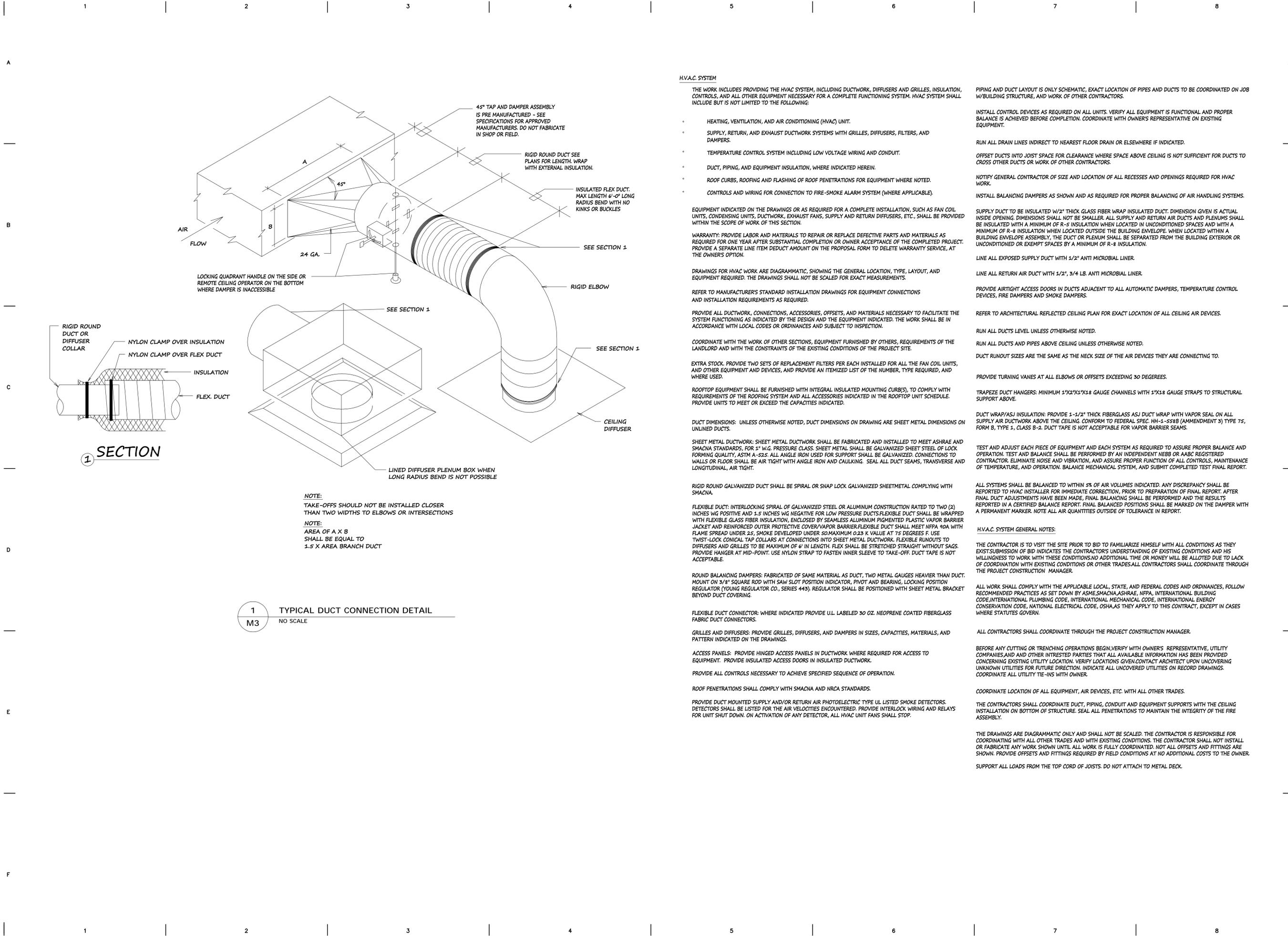
2 GAS FURNACE INSTALLATION DETAIL  
NO SCALE  
M2



3 LAVATORY CONDENSATE DRAIN DETAIL  
NO SCALE  
M2



4 GAS FLUE DETAIL  
NO SCALE  
M2



**1** TYPICAL DUCT CONNECTION DETAIL  
M3 NO SCALE

**NOTE:**  
TAKE-OFFS SHOULD NOT BE INSTALLED CLOSER THAN TWO WIDTHS TO ELBOWS OR INTERSECTIONS

**NOTE:**  
AREA OF A X B SHALL BE EQUAL TO 1.5 X AREA BRANCH DUCT

**H.V.A.C. SYSTEM**

THE WORK INCLUDES PROVIDING THE HVAC SYSTEM, INCLUDING DUCTWORK, DIFFUSERS AND GRILLES, INSULATION, CONTROLS, AND ALL OTHER EQUIPMENT NECESSARY FOR A COMPLETE FUNCTIONING SYSTEM. HVAC SYSTEM SHALL INCLUDE BUT IS NOT LIMITED TO THE FOLLOWING:

- HEATING, VENTILATION, AND AIR CONDITIONING (HVAC) UNIT.
- SUPPLY, RETURN, AND EXHAUST DUCTWORK SYSTEMS WITH GRILLES, DIFFUSERS, FILTERS, AND DAMPERS.
- TEMPERATURE CONTROL SYSTEM INCLUDING LOW VOLTAGE WIRING AND CONDUIT.
- DUCT, PIPING, AND EQUIPMENT INSULATION, WHERE INDICATED HEREIN.
- ROOF CURBS, ROOFING AND FLASHING OF ROOF PENETRATIONS FOR EQUIPMENT WHERE NOTED.
- CONTROLS AND WIRING FOR CONNECTION TO FIRE-SMOKE ALARM SYSTEM (WHERE APPLICABLE).

EQUIPMENT INDICATED ON THE DRAWINGS OR AS REQUIRED FOR A COMPLETE INSTALLATION, SUCH AS FAN COIL UNITS, CONDENSING UNITS, DUCTWORK, EXHAUST FANS, SUPPLY AND RETURN DIFFUSERS, ETC., SHALL BE PROVIDED WITHIN THE SCOPE OF WORK OF THIS SECTION.

WARRANTY: PROVIDE LABOR AND MATERIALS TO REPAIR OR REPLACE DEFECTIVE PARTS AND MATERIALS AS REQUIRED FOR ONE YEAR AFTER SUBSTANTIAL COMPLETION OR OWNER ACCEPTANCE OF THE COMPLETED PROJECT. PROVIDE A SEPARATE LINE ITEM DEDUCT AMOUNT ON THE PROPOSAL FORM TO DELETE WARRANTY SERVICE, AT THE OWNER'S OPTION.

DRAWINGS FOR HVAC WORK ARE DIAGRAMMATIC, SHOWING THE GENERAL LOCATION, TYPE, LAYOUT, AND EQUIPMENT REQUIRED. THE DRAWINGS SHALL NOT BE SCALED FOR EXACT MEASUREMENTS.

REFER TO MANUFACTURER'S STANDARD INSTALLATION DRAWINGS FOR EQUIPMENT CONNECTIONS AND INSTALLATION REQUIREMENTS AS REQUIRED.

PROVIDE ALL DUCTWORK, CONNECTIONS, ACCESSORIES, OFFSETS, AND MATERIALS NECESSARY TO FACILITATE THE SYSTEM FUNCTIONING AS INDICATED BY THE DESIGN AND THE EQUIPMENT INDICATED. THE WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES OR ORDINANCES AND SUBJECT TO INSPECTION.

COORDINATE WITH THE WORK OF OTHER SECTIONS, EQUIPMENT FURNISHED BY OTHERS, REQUIREMENTS OF THE LANDLORD AND WITH THE CONSTRAINTS OF THE EXISTING CONDITIONS OF THE PROJECT SITE.

EXTRA STOCK: PROVIDE TWO SETS OF REPLACEMENT FILTERS PER EACH INSTALLED FOR ALL THE FAN COIL UNITS, AND OTHER EQUIPMENT AND DEVICES, AND PROVIDE AN ITEMIZED LIST OF THE NUMBER, TYPE REQUIRED, AND WHERE USED.

ROOFTOP EQUIPMENT SHALL BE FURNISHED WITH INTEGRAL INSULATED MOUNTING CURB(S), TO COMPLY WITH REQUIREMENTS OF THE ROOFING SYSTEM AND ALL ACCESSORIES INDICATED IN THE ROOFTOP UNIT SCHEDULE. PROVIDE UNITS TO MEET OR EXCEED THE CAPACITIES INDICATED.

DUCT DIMENSIONS: UNLESS OTHERWISE NOTED, DUCT DIMENSIONS ON DRAWING ARE SHEET METAL DIMENSIONS ON UNLINED DUCTS.

SHEET METAL DUCTWORK: SHEET METAL DUCTWORK SHALL BE FABRICATED AND INSTALLED TO MEET ASHRAE AND SMACNA STANDARDS, FOR 1" W.G. PRESSURE CLASS. SHEET METAL SHALL BE GALVANIZED SHEET STEEL OF LOCK FORMING QUALITY, ASTM A-525. ALL ANGLE IRON USED FOR SUPPORT SHALL BE GALVANIZED. CONNECTIONS TO WALLS OR FLOOR SHALL BE AIR TIGHT WITH ANGLE IRON AND CAULKING. SEAL ALL DUCT SEAMS, TRANSVERSE AND LONGITUDINAL, AIR TIGHT.

RIGID ROUND GALVANIZED DUCT SHALL BE SPIRAL OR SNAP LOCK. GALVANIZED SHEETMETAL COMPLYING WITH SMACNA.

FLEXIBLE DUCT: INTERLOCKING SPIRAL OF GALVANIZED STEEL OR ALUMINUM CONSTRUCTION RATED TO TWO (2) INCHES W.G. POSITIVE AND 1.5 INCHES W.G. NEGATIVE FOR LOW PRESSURE DUCTS. FLEXIBLE DUCT SHALL BE WRAPPED WITH FLEXIBLE GLASS FIBER INSULATION, ENCLOSED BY SEAMLESS ALUMINUM PIGMENTED PLASTIC VAPOR BARRIER JACKET AND REINFORCED OUTER PROTECTIVE COVER/VAPOR BARRIER. FLEXIBLE DUCT SHALL MEET NFPA 90A WITH FLAME SPREAD UNDER 25, SMOKE DEVELOPED UNDER 50. MAXIMUM 0.23 K VALUE AT 75 DEGREES F. USE TWIST-LOCK CONICAL TAP COLLARS AT CONNECTIONS INTO SHEET METAL DUCTWORK. FLEXIBLE RUNOUTS TO DIFFUSERS AND GRILLES TO BE MAXIMUM OF 6' IN LENGTH. FLEX SHALL BE STRETCHED STRAIGHT WITHOUT SAGS. PROVIDE HANGER AT MID-POINT. USE NYLON STRAP TO FASTEN INNER SLEEVE TO TAKE-OFF. DUCT TAPE IS NOT ACCEPTABLE.

ROUND BALANCING DAMPERS: FABRICATED OF SAME MATERIAL AS DUCT. TWO METAL GAUGES HEAVIER THAN DUCT. MOUNT ON 3/8" SQUARE ROD WITH SAW SLOT POSITION INDICATOR, PIVOT AND BEARING, LOCKING POSITION REGULATOR (YOUNG REGULATOR CO., SERIES 443). REGULATOR SHALL BE POSITIONED WITH SHEET METAL BRACKET BEYOND DUCT COVERING.

FLEXIBLE DUCT CONNECTOR: WHERE INDICATED PROVIDE U.L. LABELED 30 OZ. NEOPRENE COATED FIBERGLASS FABRIC DUCT CONNECTORS.

GRILLES AND DIFFUSERS: PROVIDE GRILLES, DIFFUSERS, AND DAMPERS IN SIZES, CAPACITIES, MATERIALS, AND PATTERN INDICATED ON THE DRAWINGS.

ACCESS PANELS: PROVIDE HINGED ACCESS PANELS IN DUCTWORK WHERE REQUIRED FOR ACCESS TO EQUIPMENT. PROVIDE INSULATED ACCESS DOORS IN INSULATED DUCTWORK.

PROVIDE ALL CONTROLS NECESSARY TO ACHIEVE SPECIFIED SEQUENCE OF OPERATION.

ROOF PENETRATIONS SHALL COMPLY WITH SMACNA AND NRCA STANDARDS.

PROVIDE DUCT MOUNTED SUPPLY AND/OR RETURN AIR PHOTOELECTRIC TYPE UL LISTED SMOKE DETECTORS. DETECTORS SHALL BE LISTED FOR THE AIR VELOCITIES ENCOUNTERED. PROVIDE INTERLOCK WIRING AND RELAYS FOR UNIT SHUT DOWN. ON ACTIVATION OF ANY DETECTOR, ALL HVAC UNIT FANS SHALL STOP.

PIPING AND DUCT LAYOUT IS ONLY SCHEMATIC, EXACT LOCATION OF PIPES AND DUCTS TO BE COORDINATED ON JOB W/BUILDING STRUCTURE, AND WORK OF OTHER CONTRACTORS.

INSTALL CONTROL DEVICES AS REQUIRED ON ALL UNITS. VERIFY ALL EQUIPMENT IS FUNCTIONAL AND PROPER BALANCE IS ACHIEVED BEFORE COMPLETION. COORDINATE WITH OWNER'S REPRESENTATIVE ON EXISTING EQUIPMENT.

RUN ALL DRAIN LINES INDIRECT TO NEAREST FLOOR DRAIN OR ELSEWHERE IF INDICATED.

OFFSET DUCTS INTO JOIST SPACE FOR CLEARANCE WHERE SPACE ABOVE CEILING IS NOT SUFFICIENT FOR DUCTS TO CROSS OTHER DUCTS OR WORK OF OTHER CONTRACTORS.

NOTIFY GENERAL CONTRACTOR OF SIZE AND LOCATION OF ALL RECESSES AND OPENINGS REQUIRED FOR HVAC WORK.

INSTALL BALANCING DAMPERS AS SHOWN AND AS REQUIRED FOR PROPER BALANCING OF AIR HANDLING SYSTEMS.

SUPPLY DUCT TO BE INSULATED W/2" THICK GLASS FIBER WRAP INSULATED DUCT. DIMENSION GIVEN IS ACTUAL INSIDE OPENING. DIMENSIONS SHALL NOT BE SMALLER. ALL SUPPLY AND RETURN AIR DUCTS AND PLENUMS SHALL BE INSULATED WITH A MINIMUM OF R-5 INSULATION WHEN LOCATED IN UNCONDITIONED SPACES AND WITH A MINIMUM OF R-8 INSULATION WHEN LOCATED OUTSIDE THE BUILDING ENVELOPE. WHEN LOCATED WITHIN A BUILDING ENVELOPE ASSEMBLY, THE DUCT OR PLENUM SHALL BE SEPARATED FROM THE BUILDING EXTERIOR OR UNCONDITIONED OR EXEMPT SPACES BY A MINIMUM OF R-8 INSULATION.

LINE ALL EXPOSED SUPPLY DUCT WITH 1/2" ANTI MICROBIAL LINER.

LINE ALL RETURN AIR DUCT WITH 1/2", 3/4 LB. ANTI MICROBIAL LINER.

PROVIDE AIRTIGHT ACCESS DOORS IN DUCTS ADJACENT TO ALL AUTOMATIC DAMPERS, TEMPERATURE CONTROL DEVICES, FIRE DAMPERS AND SMOKE DAMPERS.

REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION OF ALL CEILING AIR DEVICES.

RUN ALL DUCTS LEVEL UNLESS OTHERWISE NOTED.

RUN ALL DUCTS AND PIPES ABOVE CEILING UNLESS OTHERWISE NOTED.

DUCT RUNOUT SIZES ARE THE SAME AS THE NECK SIZE OF THE AIR DEVICES THEY ARE CONNECTING TO.

PROVIDE TURNING VANES AT ALL ELBOWS OR OFFSETS EXCEEDING 30 DEGREES.

TRAPEZE DUCT HANGERS: MINIMUM 1"x2"x1"x1/8 GAUGE CHANNELS WITH 1"x1/8 GAUGE STRAPS TO STRUCTURAL SUPPORT ABOVE.

DUCT WRAP/ASJ INSULATION: PROVIDE 1-1/2" THICK FIBERGLASS ASJ DUCT WRAP WITH VAPOR SEAL ON ALL SUPPLY AIR DUCTWORK ABOVE THE CEILING. CONFORM TO FEDERAL SPEC. HH-1-5588 (AMENDMENT 3) TYPE 75, FORM B, TYPE 1, CLASS B-2. DUCT TAPE IS NOT ACCEPTABLE FOR VAPOR BARRIER SEAMS.

TEST AND ADJUST EACH PIECE OF EQUIPMENT AND EACH SYSTEM AS REQUIRED TO ASSURE PROPER BALANCE AND OPERATION. TEST AND BALANCE SHALL BE PERFORMED BY AN INDEPENDENT NEBB OR AABC REGISTERED CONTRACTOR. ELIMINATE NOISE AND VIBRATION, AND ASSURE PROPER FUNCTION OF ALL CONTROLS. MAINTENANCE OF TEMPERATURE, AND OPERATION. BALANCE MECHANICAL SYSTEM, AND SUBMIT COMPLETED TEST FINAL REPORT.

ALL SYSTEMS SHALL BE BALANCED TO WITHIN 5% OF AIR VOLUMES INDICATED. ANY DISCREPANCY SHALL BE REPORTED TO HVAC INSTALLER FOR IMMEDIATE CORRECTION, PRIOR TO PREPARATION OF FINAL REPORT. AFTER FINAL DUCT ADJUSTMENTS HAVE BEEN MADE, FINAL BALANCING SHALL BE PERFORMED AND THE RESULTS REPORTED IN A CERTIFIED BALANCE REPORT. FINAL BALANCED POSITIONS SHALL BE MARKED ON THE DAMPER WITH A PERMANENT MARKER. NOTE ALL AIR QUANTITIES OUTSIDE OF TOLERANCE IN REPORT.

**H.V.A.C. SYSTEM GENERAL NOTES:**

THE CONTRACTOR IS TO VISIT THE SITE PRIOR TO BID TO FAMILIARIZE HIMSELF WITH ALL CONDITIONS AS THEY EXIST. SUBMISSION OF BID INDICATES THE CONTRACTOR'S UNDERSTANDING OF EXISTING CONDITIONS AND HIS WILLINGNESS TO WORK WITH THESE CONDITIONS. NO ADDITIONAL TIME OR MONEY WILL BE ALLOTTED DUE TO LACK OF COORDINATION WITH EXISTING CONDITIONS OR OTHER TRADES. ALL CONTRACTORS SHALL COORDINATE THROUGH THE PROJECT CONSTRUCTION MANAGER.

ALL WORK SHALL COMPLY WITH THE APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND ORDINANCES, FOLLOW RECOMMENDED PRACTICES AS SET DOWN BY ASME, SMACNA, ASHRAE, NFPA, INTERNATIONAL BUILDING CODE, INTERNATIONAL PLUMBING CODE, INTERNATIONAL MECHANICAL CODE, INTERNATIONAL ENERGY CONSERVATION CODE, NATIONAL ELECTRICAL CODE, OSHA, AS THEY APPLY TO THIS CONTRACT, EXCEPT IN CASES WHERE STATUTES GOVERN.

ALL CONTRACTORS SHALL COORDINATE THROUGH THE PROJECT CONSTRUCTION MANAGER.

BEFORE ANY CUTTING OR TRENCHING OPERATIONS BEGIN, VERIFY WITH OWNER'S REPRESENTATIVE, UTILITY COMPANIES AND OTHER INTERESTED PARTIES THAT ALL AVAILABLE INFORMATION HAS BEEN PROVIDED CONCERNING EXISTING UTILITY LOCATION. VERIFY LOCATIONS GIVEN. CONTACT ARCHITECT UPON UNCOVERING UNKNOWN UTILITIES FOR FUTURE DIRECTION. INDICATE ALL UNCOVERED UTILITIES ON RECORD DRAWINGS. COORDINATE ALL UTILITY TIE-INS WITH OWNER.

COORDINATE LOCATION OF ALL EQUIPMENT, AIR DEVICES, ETC. WITH ALL OTHER TRADES.

THE CONTRACTORS SHALL COORDINATE DUCT, PIPING, CONDUIT AND EQUIPMENT SUPPORTS WITH THE CEILING INSTALLATION ON BOTTOM OF STRUCTURE. SEAL ALL PENETRATIONS TO MAINTAIN THE INTEGRITY OF THE FIRE ASSEMBLY.

THE DRAWINGS ARE DIAGRAMMATIC ONLY AND SHALL NOT BE SCALED. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH ALL OTHER TRADES AND WITH EXISTING CONDITIONS. THE CONTRACTOR SHALL NOT INSTALL OR FABRICATE ANY WORK SHOWN UNTIL ALL WORK IS FULLY COORDINATED. NOT ALL OFFSETS AND FITTINGS ARE SHOWN. PROVIDE OFFSETS AND FITTINGS REQUIRED BY FIELD CONDITIONS AT NO ADDITIONAL COSTS TO THE OWNER.

SUPPORT ALL LOADS FROM THE TOP CORD OF JOISTS. DO NOT ATTACH TO METAL DECK.

THESE DRAWINGS AND COPIES ARE THE COPYRIGHTED PROPERTY OF THE ENGINEER. THEY MAY NOT BE USED FOR PROJECTS OTHER THAN THE DESIGNATED PROJECT WITHOUT THE SPECIFIC WRITTEN APPROVAL OF THE ENGINEER

Checked By: TM

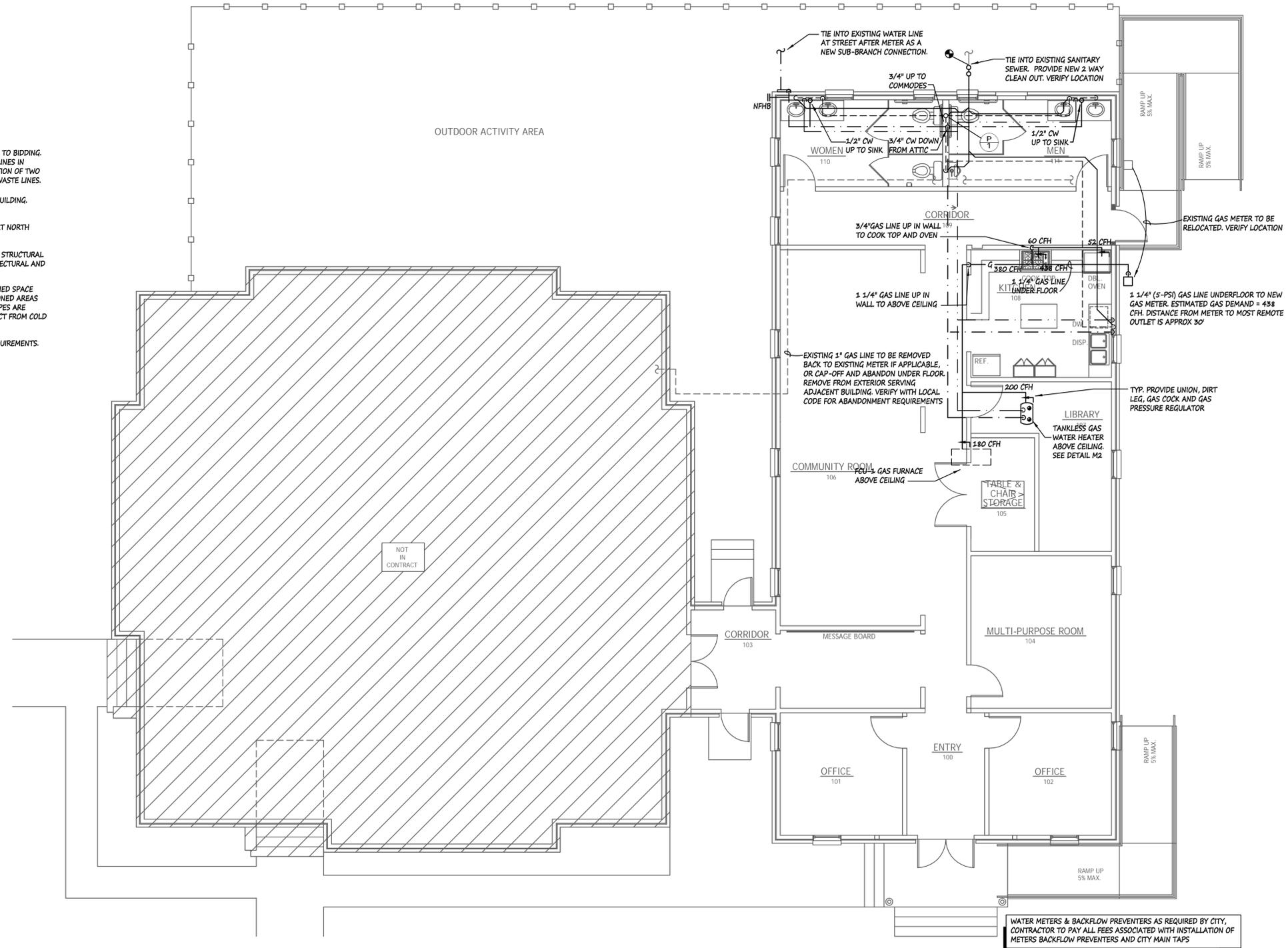
Revisions:

1.	
2.	
3.	
4.	
5.	



**GENERAL NOTES:**

1. CONTRACTOR SHALL VISIT SITE AND DETERMINE EXISTING CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS TO SANITARY SEWER LINES IN WALL AND BELOW SLAB IN ORDER TO AVOID LINES CROSSING AND PENETRATION OF TWO HOUR FIRE WALL. IT MAY BE NECESSARY TO FIELD ADJUST SOME VERTICAL WASTE LINES.
2. FIELD VERIFY LOCATION OF EXISTING CITY SANITARY SEWER LINE SOUTH OF BUILDING. REFER TO CIVIL UTILITY DRAWINGS.
3. FIELD VERIFY LOCATION OF EXISTING DOMESTIC WATER LINE AND 2" METER AT NORTH END OF BUILDING. REFER TO CIVIL UTILITY DRAWINGS.
4. LOCATION OF DOMESTIC WATER LINES AND DROPS MAY VARY ACCORDING TO STRUCTURAL AND FIELD CONDITIONS. CONTRACTOR SHALL FAMILIARIZE SELF WITH ARCHITECTURAL AND STRUCTURAL PLANS PRIOR TO BIDDING AND ROUGH-IN WORK.
5. DOMESTIC WATER LINES HAVE BEEN DESIGNED TO BE LOCATED IN CONDITIONED SPACE INTERIOR WALLS TO AVOID AS MUCH AS POSSIBLE LOCATIONS IN UNCONDITIONED AREAS SUCH AS UNDER FLOOR, ABOVE CEILING AND ATTIC SPACE. WHERE WATER PIPES ARE EXPOSED TO UNCONDITIONED SPACE PROVIDE INSULATED COVERS TO PROTECT FROM COLD WEATHER FREEZE CONDITIONS.
6. FIRE PROOF ANY PIPE PENETRATIONS THRU ROOF PER LOCAL FIRE CODE REQUIREMENTS.



**1** FIRST FLOOR PLAN - PLUMBING  
 P1 3/16" = 1'-0"

**NOTES:**  
 ● DENOTES POINT OF CONNECTION BETWEEN EXISTING PIPING AND NEW PIPING.  
 ALL PLUMBING LINE SIZES ARE SHOWN ON PLUMBING RISERS.  
 ▲ PROVIDE THERMOSTATIC MIXING VALVE AT EACH PUBLIC ACCESSIBLE LAVATORY. VERIFY LOCATION IN FIELD.

THESE DRAWINGS AND COPIES ARE THE COPYRIGHTED PROPERTY OF THE ENGINEER. THEY MAY NOT BE USED FOR PROJECTS OTHER THAN THE DESIGNATED PROJECT WITHOUT THE SPECIFIC WRITTEN APPROVAL OF THE ENGINEER.

Checked By: TM

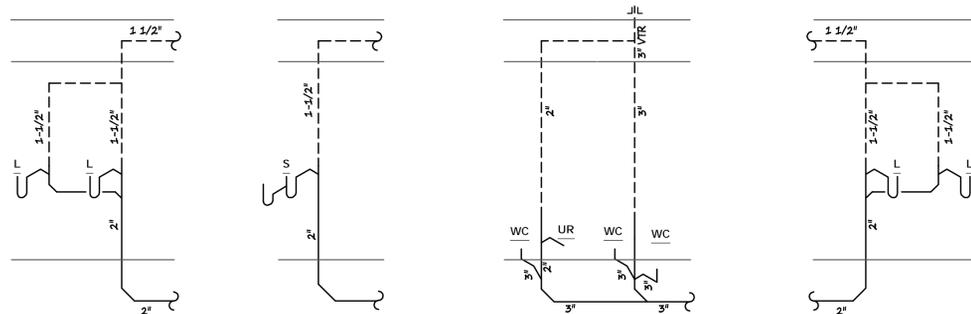
Revisions:

1.	PER CITY COMMENTS	06/05/16
2.		
3.		
4.		
5.		

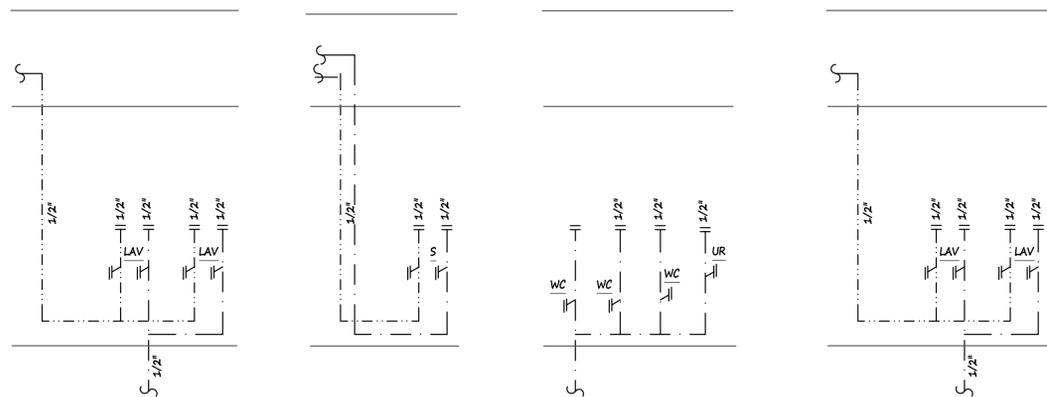


05-13-16

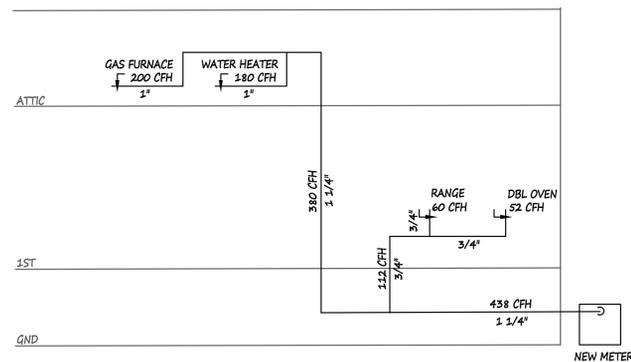
Date: 05-13-16  
 SHEET NO.:



**SANITARY SEWER RISER DIAGRAM**  
NO SCALE



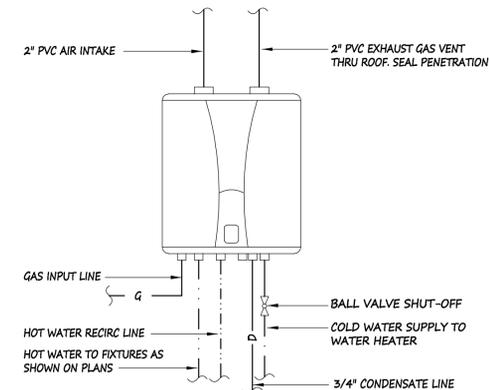
**DOMESTIC WATER RISER DIAGRAM**  
NO SCALE



**NATURAL GAS RISER DIAGRAM**  
NO SCALE

PLUMBING FIXTURE SCHEDULE			NOTE: CONFIRM ALL CHOICES WITH OWNER PRIOR TO PURCHASE AND ROUGH-IN WORK.
FIXTURE	MANUFACTURER	DESCRIPTION EQUAL TO:	
LAVATORY	KOHLER	K-2917-4 KOHLER LAVATORY, 2520-MPU DELTA LAVATORY FAUCET (MAX 1.5 GPM), HD155A MCQUIRE OPEN GRID P.O. PLUG DRAIN, MCQUIRE 2165-LK LOOSE KEY SUPPLY.	
KITCHEN SINK	ELKAY	LR-3321-3 ELKAY STAINLESS STEEL SINK, 440-WE-DST DELTA SINK FAUCET (1.5 GPM), 8912 MCQUIRE P-TRAP, 2165-LK MCQUIRE SUPPLIES	
WATER CLOSET	AMERICAN STANDARD	751CA.101 AMERICAN STANDARD COLONY WHITE WATER CLOSET (1.28 GPF), 1250TT BEMIS WHITE SEAT, C-60 STOP, B120A CLOSET SUPPLIES CRANE	
WATER HEATER	'NAVIEN' OR EQUAL	NPE-240A - TANKLESS WATER HEATER, 11.5 GPM FLOW RATE AT 35° TEMP RISE; APPROX 149,800 BTUH GAS INPUT; BUILT IN CIRCULATING PUMP. PROVIDE ALL APPURTENANCES FOR A COMPLETE OPERATIONAL INSTALLATION.	
NFHB	ZURN	ENCASED, AUTOMATIC DRAINING, NON-FREEZE WALL HYDRANT, ANTI-SIPHON VACUUM BREAKER, Z1300	
FD	JOSAM SERIES	IF REQUIRED	
SINK STOP VALVES	1/4 TURN COMPRESSION TYPE		

1. ALL WATER CLOSET FLUSH HANDLES SHALL BE ON OPEN SIDE OF ROOM.
2. WATER HEATER SHALL QUALIFY FOR THE US ETA AND DEPARTMENT OF ENERGY, ENERGY STAR LABEL.



**NOTES:**

1. PIPING ARRANGEMENT SHOWN IS SCHEMATIC. ADJUST TO SUIT FIELD CONDITIONS. REFER TO FLOOR PLAN FOR PIPE SIZES. SET WATER HEATER THERMOSTAT AT 120 DEGREES FAHRENHEIT.

**TYPICAL TANKLESS WATER HEATER DETAIL**  
NO SCALE

THESE DRAWINGS AND COPIES ARE THE COPYRIGHTED PROPERTY OF THE ENGINEER. THEY MAY NOT BE USED FOR PROJECTS OTHER THAN THE DESIGNATED PROJECT WITHOUT THE SPECIFIC WRITTEN APPROVAL OF THE ENGINEER

Checked By: TM

Revisions:

1.	
2.	
3.	
4.	
5.	



05-13-16

Date: 05-13-16  
SHEET NO.: